

*****ADDENDUM ONE*****

**Building “P” – Renovations at Lincoln Manor
10 Franklin Street, Lincoln, RI**

**Lincoln Housing Authority
10 Franklin Street
Lincoln, Rhode Island**

July 8, 2026

NOTICE:

This Addendum modifies, amends and supplements designated part of the CONTRACT DOCUMENTS for the project identified as “Building “P” – Renovations at Lincoln Manor”, Lincoln, Rhode Island are hereby made a part thereof by reference, and shall be as binding as though inserted in its entirety in the locations designated hereunder. It shall be the responsibility of the Contractor to notify all subcontractor and suppliers he proposes to use for the various parts of the work of any changes or modifications contained in this Addendum. No claim for additional compensation due to lack of knowledge of the contents of this Addendum will be considered.

CLARIFICATION:

DRAWINGS:

1. Insert Structural Drawings attached as part of this Addendum.

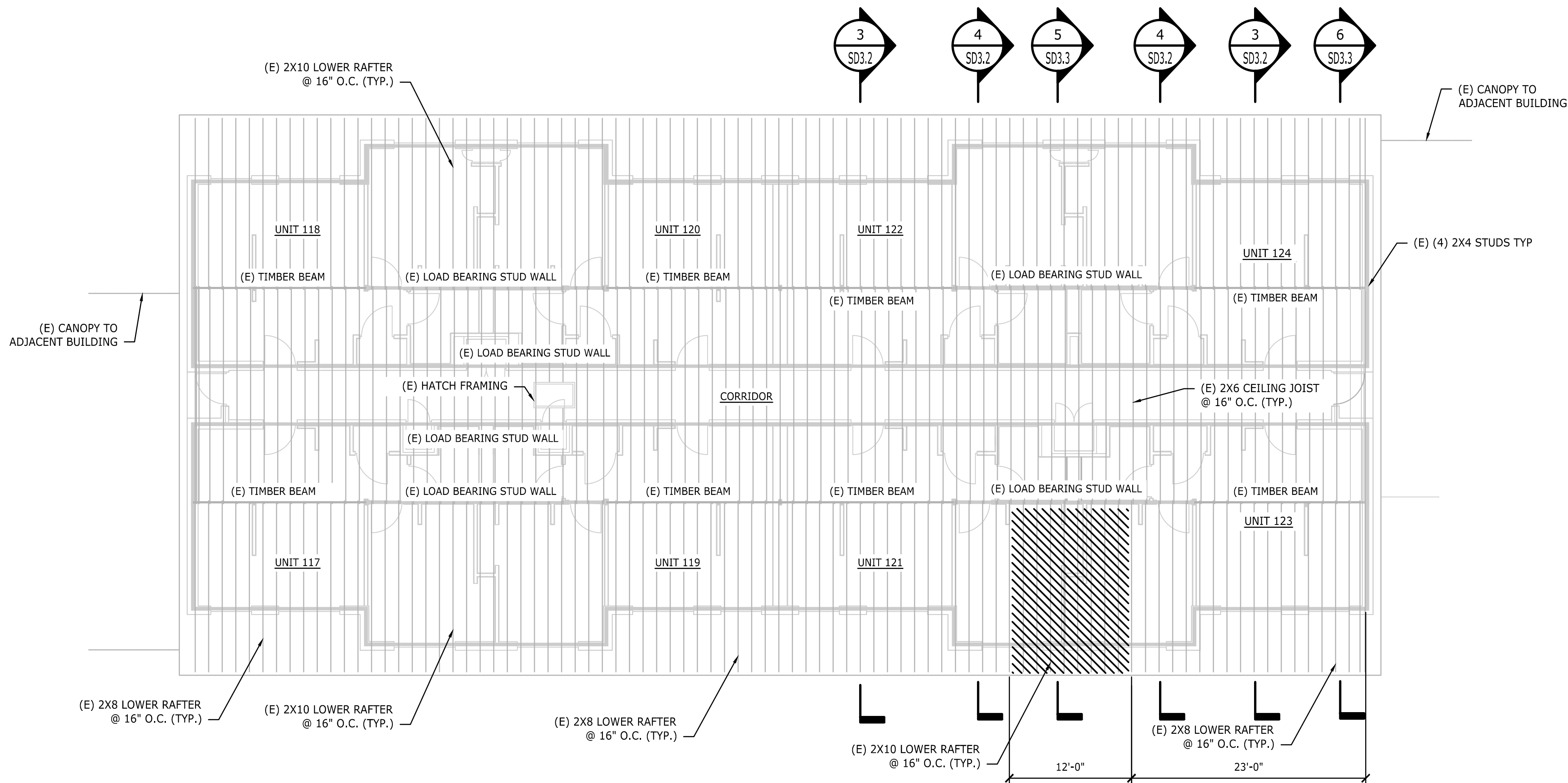
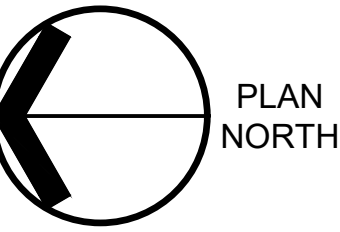
NOTICE TO ALL CONTRACTORS:

Contractors shall call our office to verify number of Addendum issued at least 24 hours in advance of bid submission. Failure to acknowledge receipt of this addendum on the bid form may, at the sole discretion of the Owner, serve as justification to reject bid.

END OF WRITTEN ADDENDUM

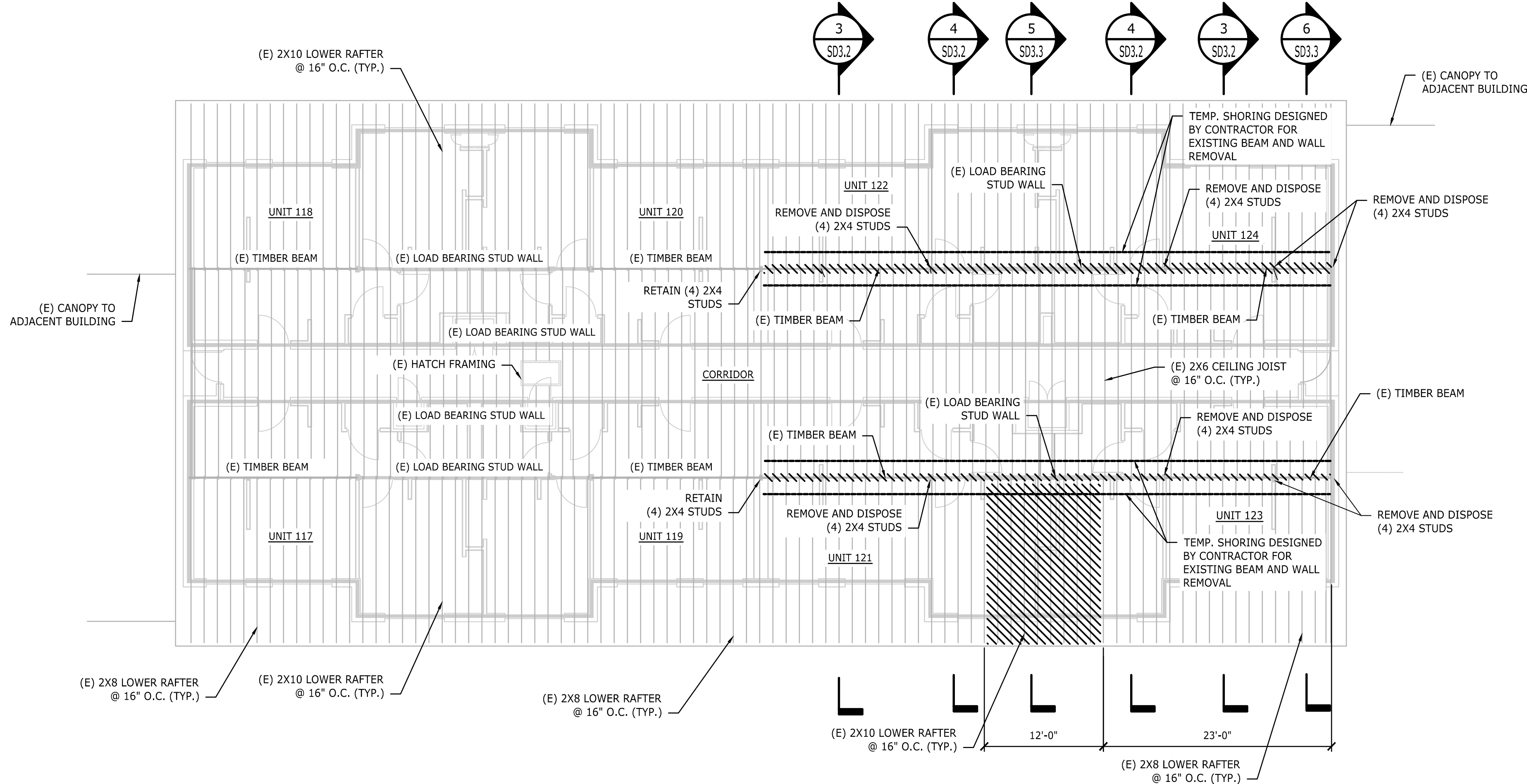
GENERAL DEMOLITION NOTES

- REFER TO PLANS AND DETAILS TO DETERMINE REMOVAL REQUIREMENTS AND LIMITS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SHORING TO SUPPORT THE EXISTING STRUCTURE AS REQUIRED FOR THE WORK. ALL SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND. SUBMIT STAMPED SHORING CALCULATIONS, PROCEDURES, AND PLANS FOR REVIEW.
- THE STRUCTURAL PLANS AND NOTES MUST BE USED IN CONJUNCTION WITH THE OTHER DEMOLITION DRAWINGS IN THE CONSTRUCTION DOCUMENTS (ARCHITECTURAL, MECHANICAL, ETC.) TO DETERMINE THE FULL SCOPE OF DEMOLITION WORK.
- STRUCTURE SCHEDULED TO REMAIN SHALL BE PROTECTED DURING ALL DEMOLITION OPERATIONS. THE CONTRACTOR SHALL EXERCISE PROPER CARE WHEN REMOVING STRUCTURE SCHEDULED FOR DEMOLITION TO AVOID DAMAGING EXISTING CONSTRUCTION THAT IS SCHEDULED TO REMAIN. ANY STRUCTURE SCHEDULED TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER. THE ENGINEER SHALL HAVE SOLE DISCRETION IN DETERMINING REPAIR REQUIREMENTS.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN DEMOLISHING OR SAWCUTTING EXISTING WALLS, SLABS, ETC. AS LIVE ELECTRICAL LINES, ACTIVE UTILITIES, ETC. MAY EXIST WITHIN EXISTING CONSTRUCTION. THE CONTRACTOR SHALL UTILIZE GROUND PENETRATING RADAR (GPR), EXPLORATORY DEMOLITION, OR SIMILAR METHODS (INCLUDING COMBINATIONS OF THESE METHODS) PRIOR TO PERFORMING THEIR WORK.



BUILDING P - LINCOLN MANOR - EXISTING LOWER ROOF FRAMING DEMOLITION PLAN (BASE BID)

SCALE: 1/8"=1'-0"



BUILDING P - LINCOLN MANOR - EXISTING LOWER ROOF FRAMING DEMOLITION PLAN (ALTERNATE No.1)

SCALE: 1/8"=1'-0"

NOTES:

- SOME NON-LOAD BEARING WALLS NOT SHOWN FOR CLARITY.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
- WORKERS SHALL NOT OCCUPY AREAS ON ROOF COVERED BY TARPS. DEMOLITION WORK IS TO BE PERFORMED FROM BELOW.

LEGEND:

- [Solid Gray Box] INDICATES EXTENT OF LOAD BEARING WALLS
- [Hatched Box] INDICATES STRUCTURE TO BE REMOVED AND DISPOSED, SEE SECTIONS FOR ADDITIONAL INFORMATION
- (E) INDICATES EXISTING STRUCTURE

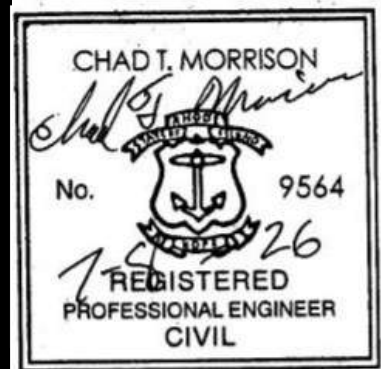
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- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS AND DATA PROVIDED BY THE OWNER AND A/E FIELD SURVEY. NO WARRANTY OF ACTUAL CONDITIONS IS INTENDED BY ARCHITECT OR OWNER. CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS WITH NEW WORK PRIOR TO BID, START OF CONSTRUCTION OR ANY FABRICATION.
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- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- NO EXITS SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- THE BUILDING WILL BE OCCUPIED DURING ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEVELOPED WITH THE UNDERSTANDING THAT THE BUILDING IS OCCUPIED AND THAT IT CAN NEITHER BE CLOSED NOR CAN THE OWNER'S OPERATIONS STOP.



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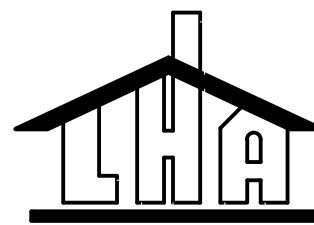
Date: JUNE 8, 2026

Drawn by: MSS Proj. Mgr.: KMC

Revisions

No.	Date	Description
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Lincoln Manor
Building P - Renovations



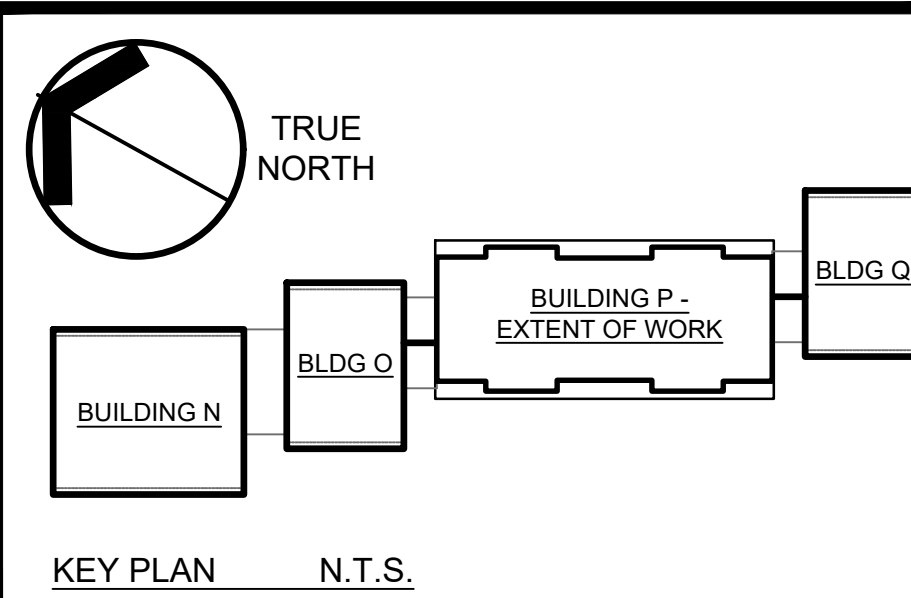
Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

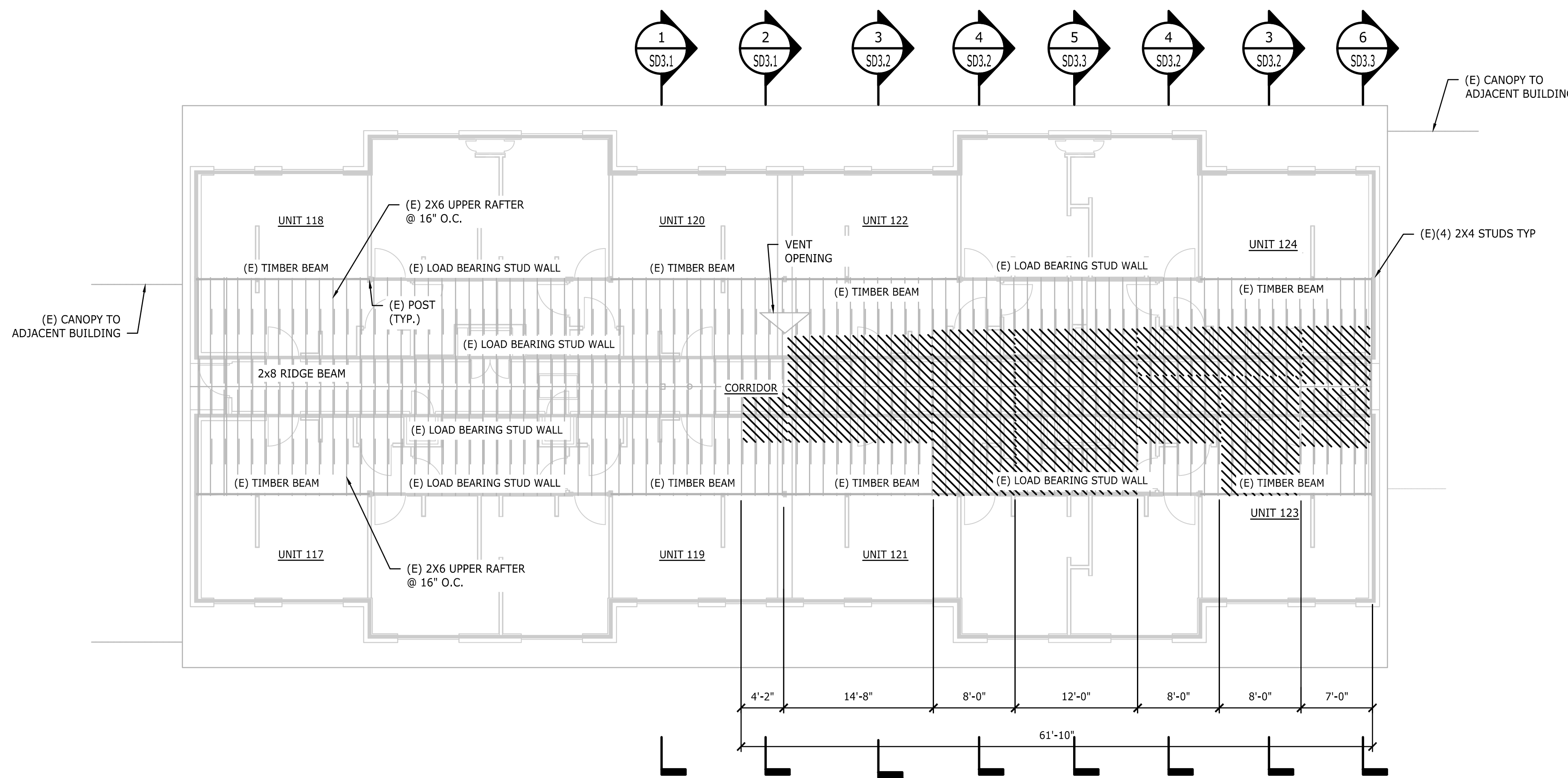
LOWER ROOF
STRUCTURAL DEMO PLANS

SD1.0

26007B - SD1.0

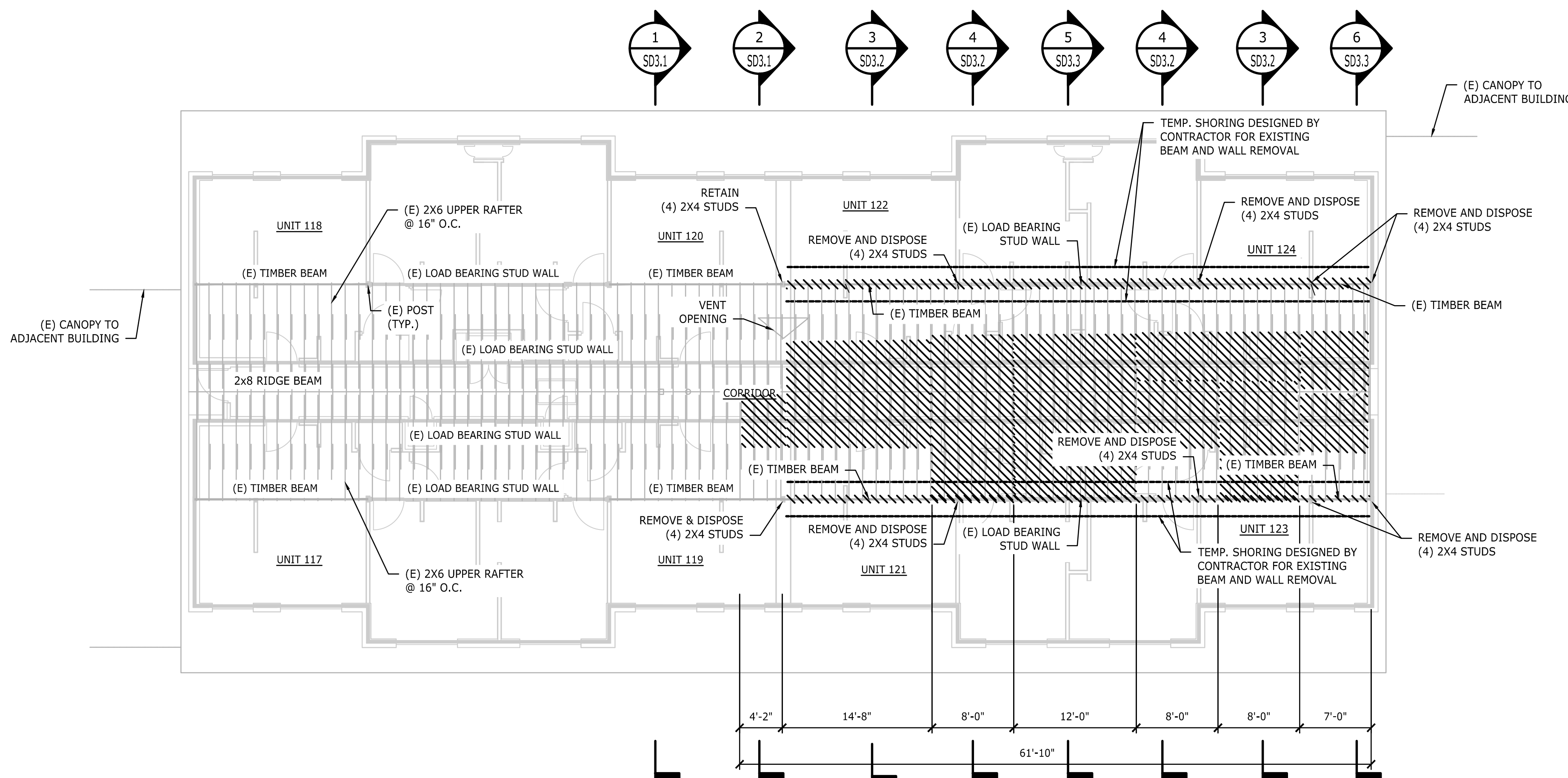
3 of 43





BUILDING P - LINCOLN MANOR - EXISTING UPPER ROOF FRAMING DEMOLITION PLAN (BASE BID)

SCALE: 1/8"=1'-0"



BUILDING P - LINCOLN MANOR - EXISTING UPPER ROOF FRAMING DEMOLITION PLAN (ALTERNATE No.1)

SCALE: 1/8"=1'-0"

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LEGEND:

- INDICATES EXTENT OF LOAD BEARING WALLS
- INDICATES STRUCTURE TO BE REMOVED AND DISPOSED, SEE SECTIONS FOR ADDITIONAL INFORMATION
- (E) INDICATES EXISTING STRUCTURE

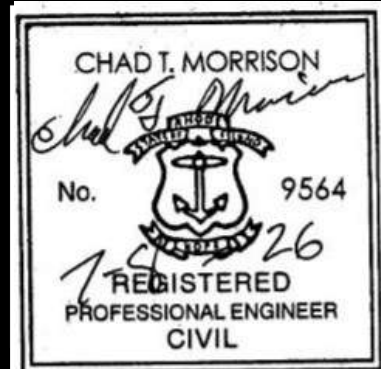
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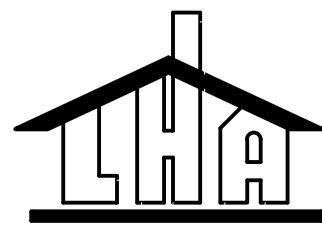
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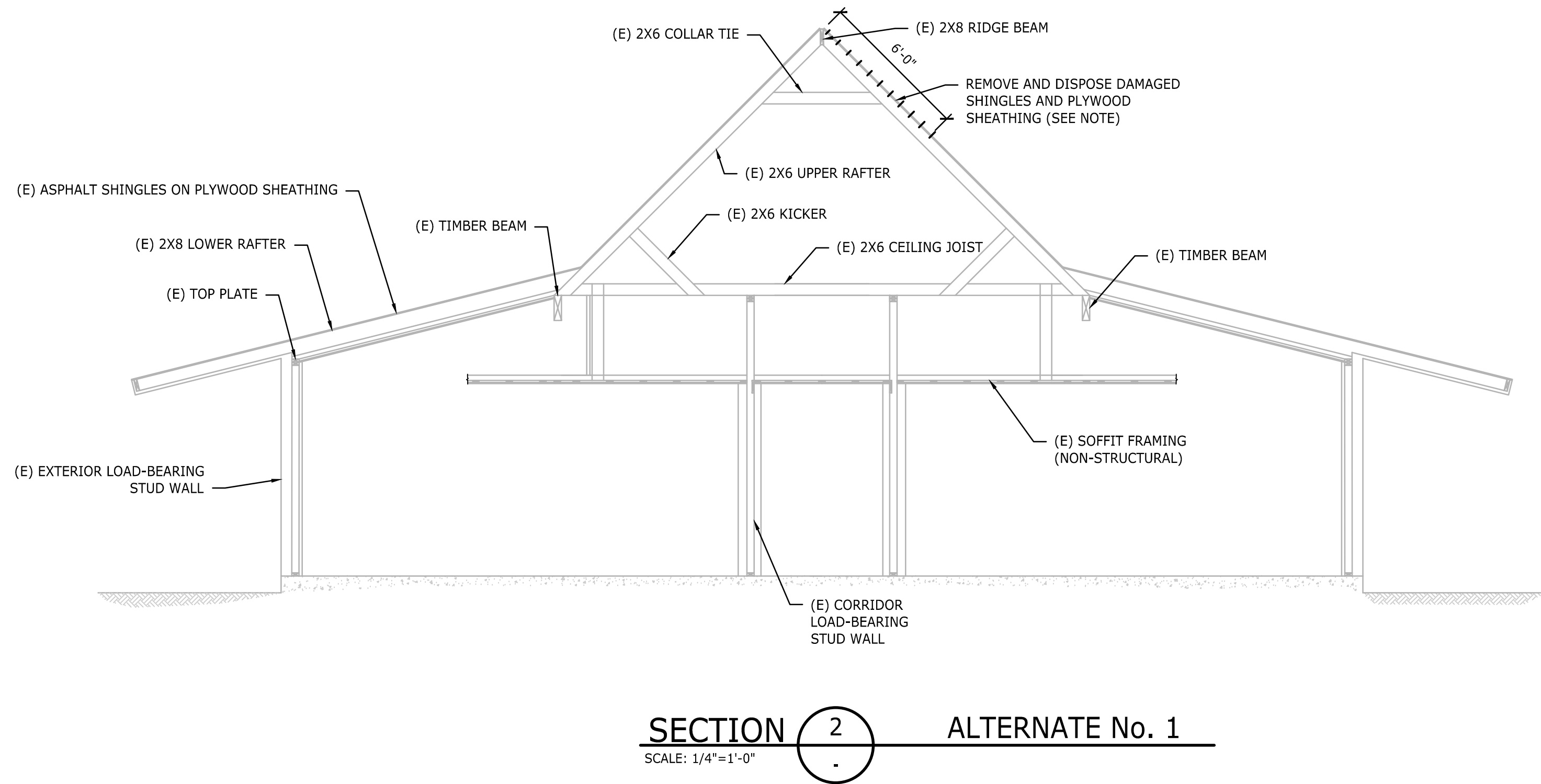
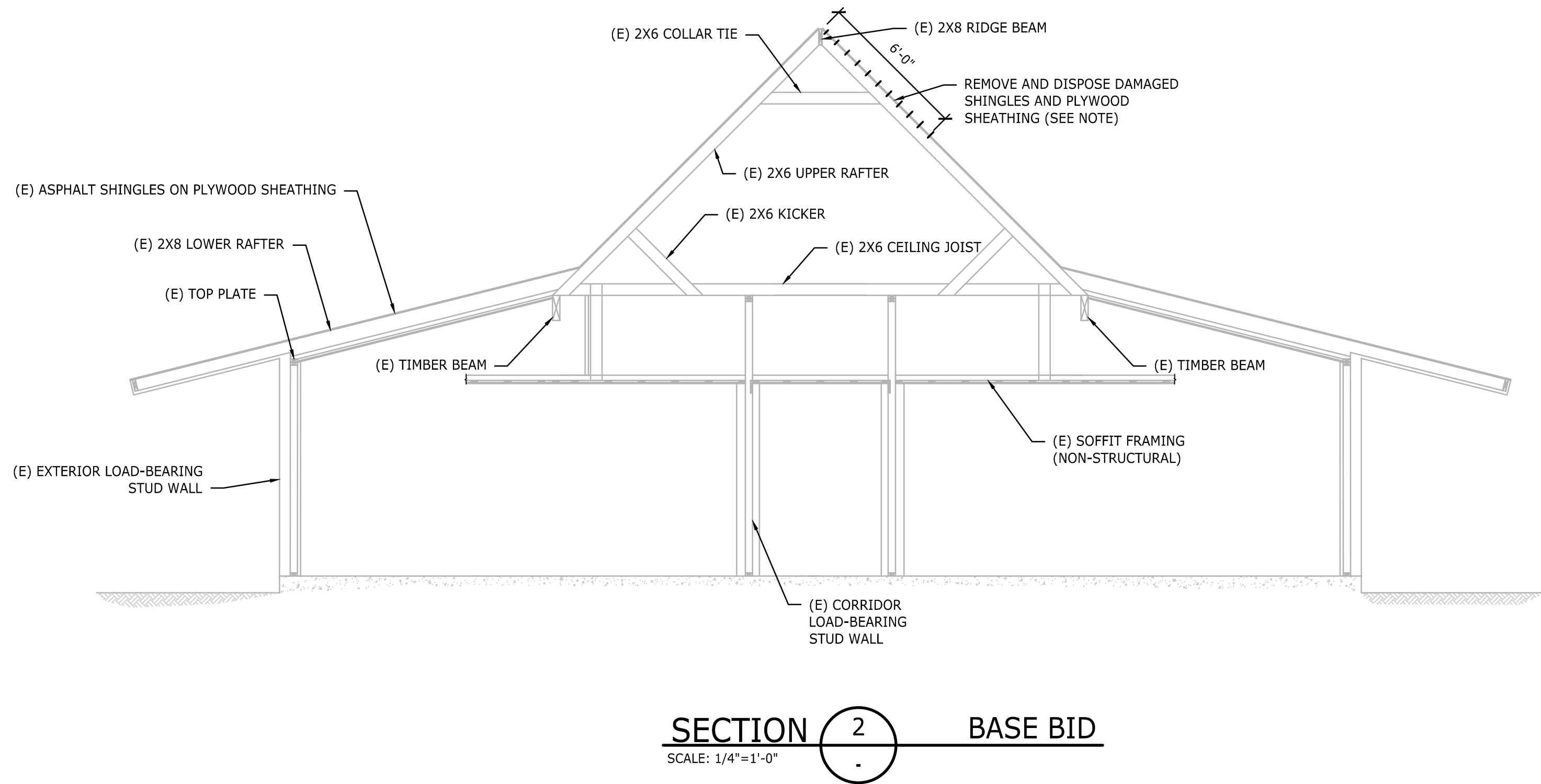
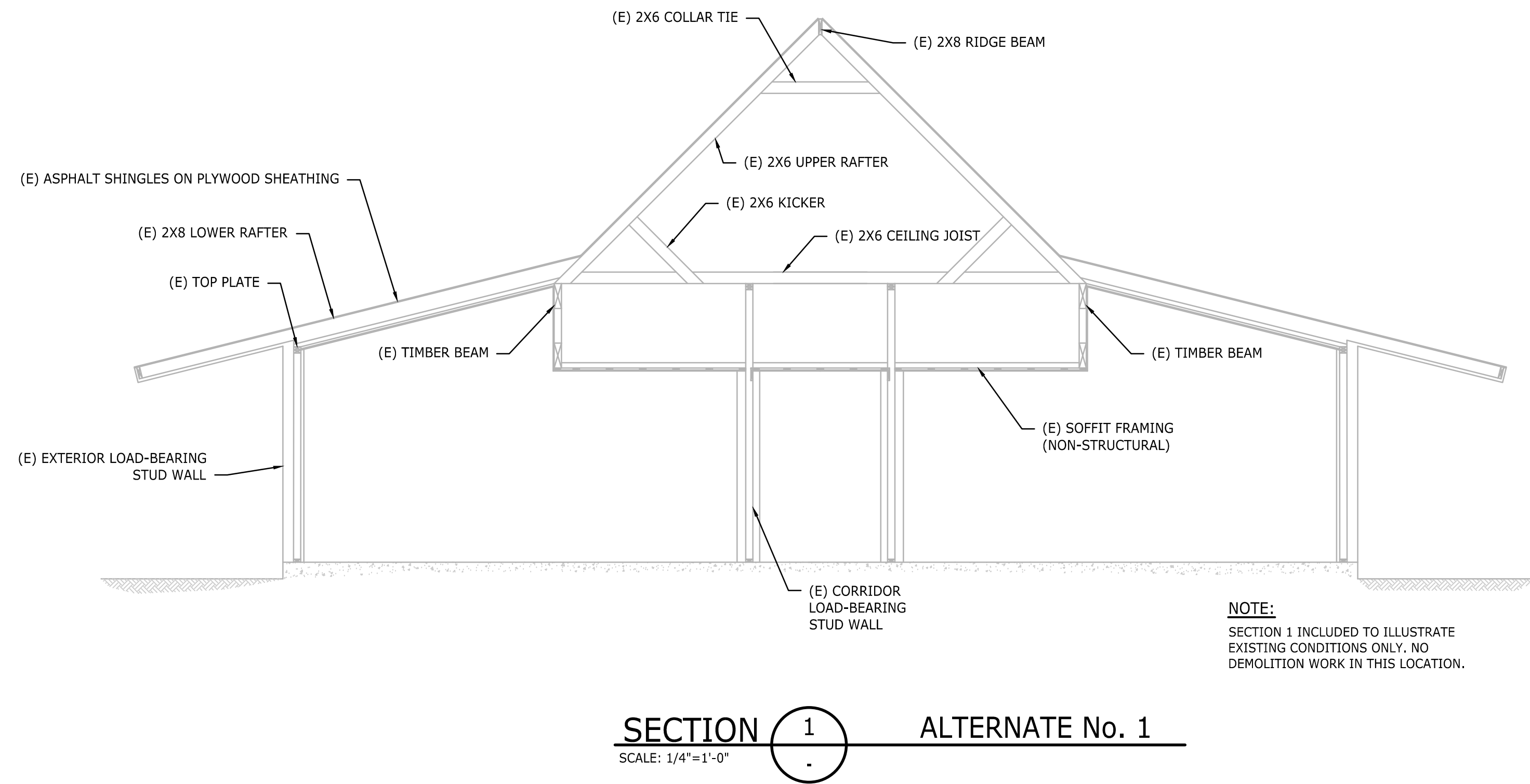
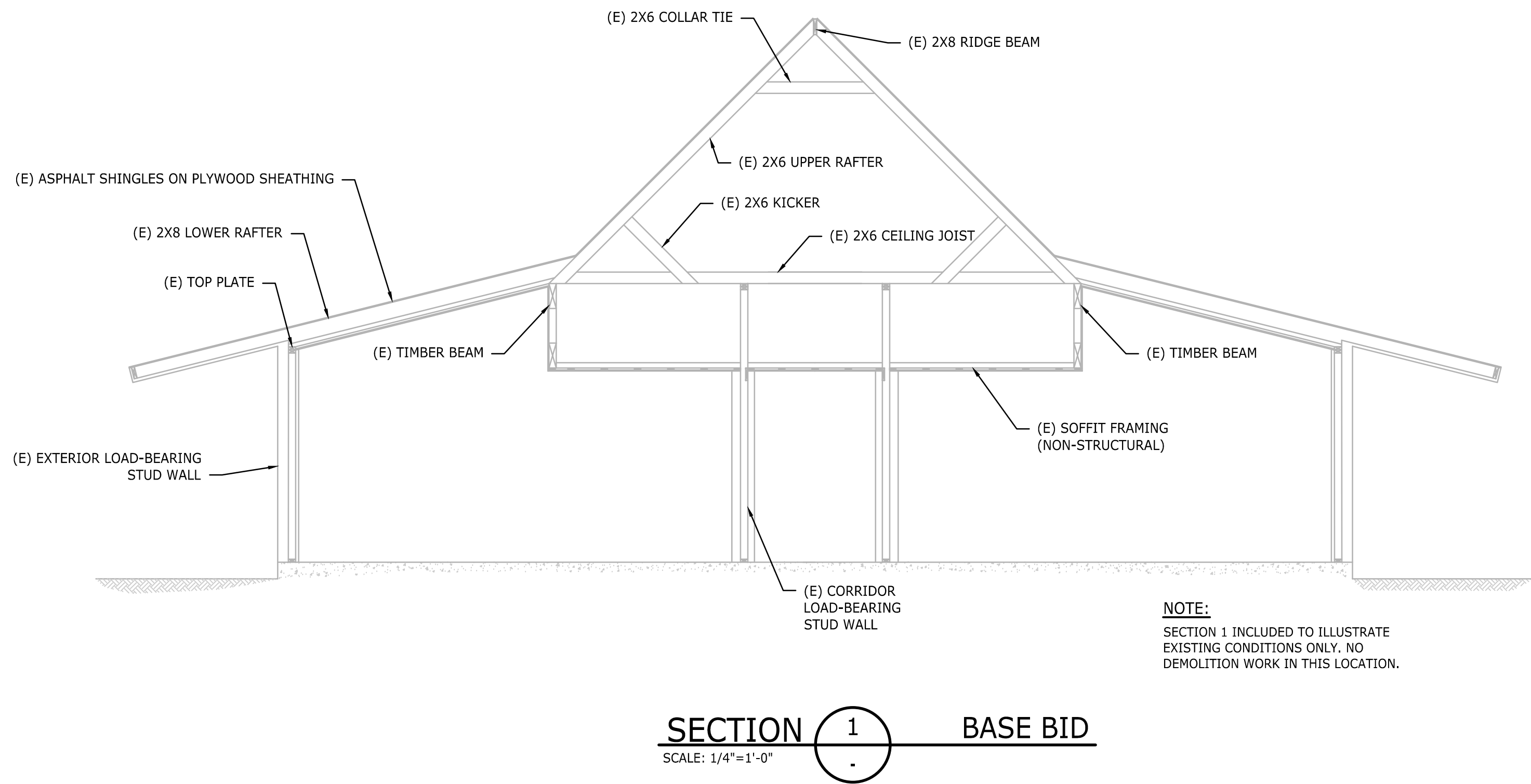
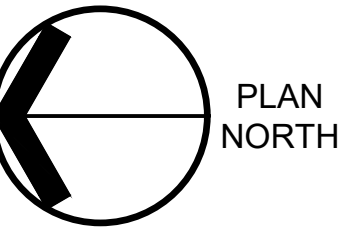
Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
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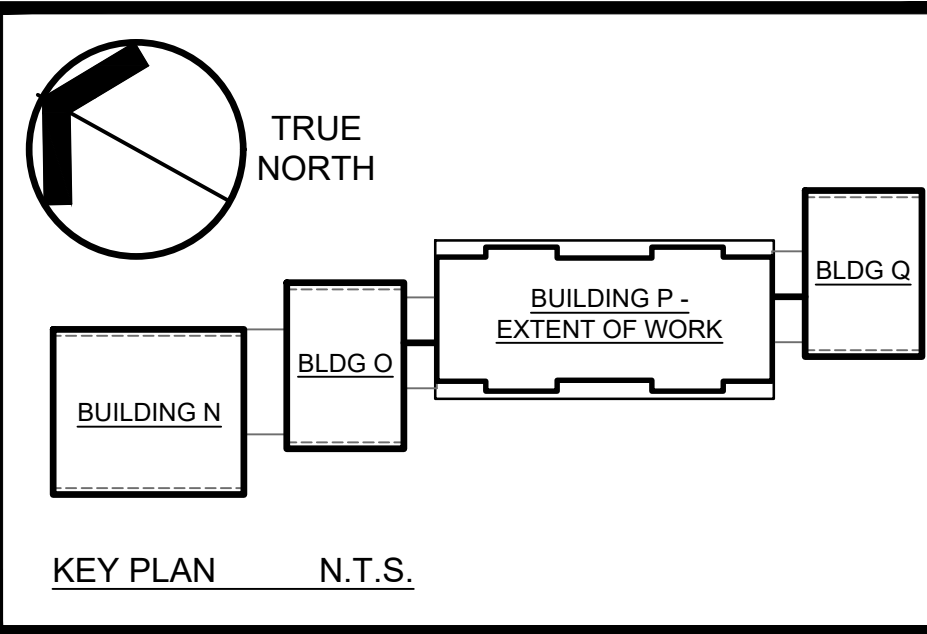
UPPER ROOF
STRUCTURAL DEMO PLANS

SD2.0



NOTE:
REFER TO PLANS FOR LIMITS OF SHEATHING REMOVAL. REMOVAL SHALL EXTEND TO CENTERLINE OF SUPPORTING MEMBER (RAFTER, JOIST, ETC.)

LEGEND:
////// INDICATES STRUCTURE TO BE REMOVED AND DISPOSED
(E) INDICATES EXISTING STRUCTURE



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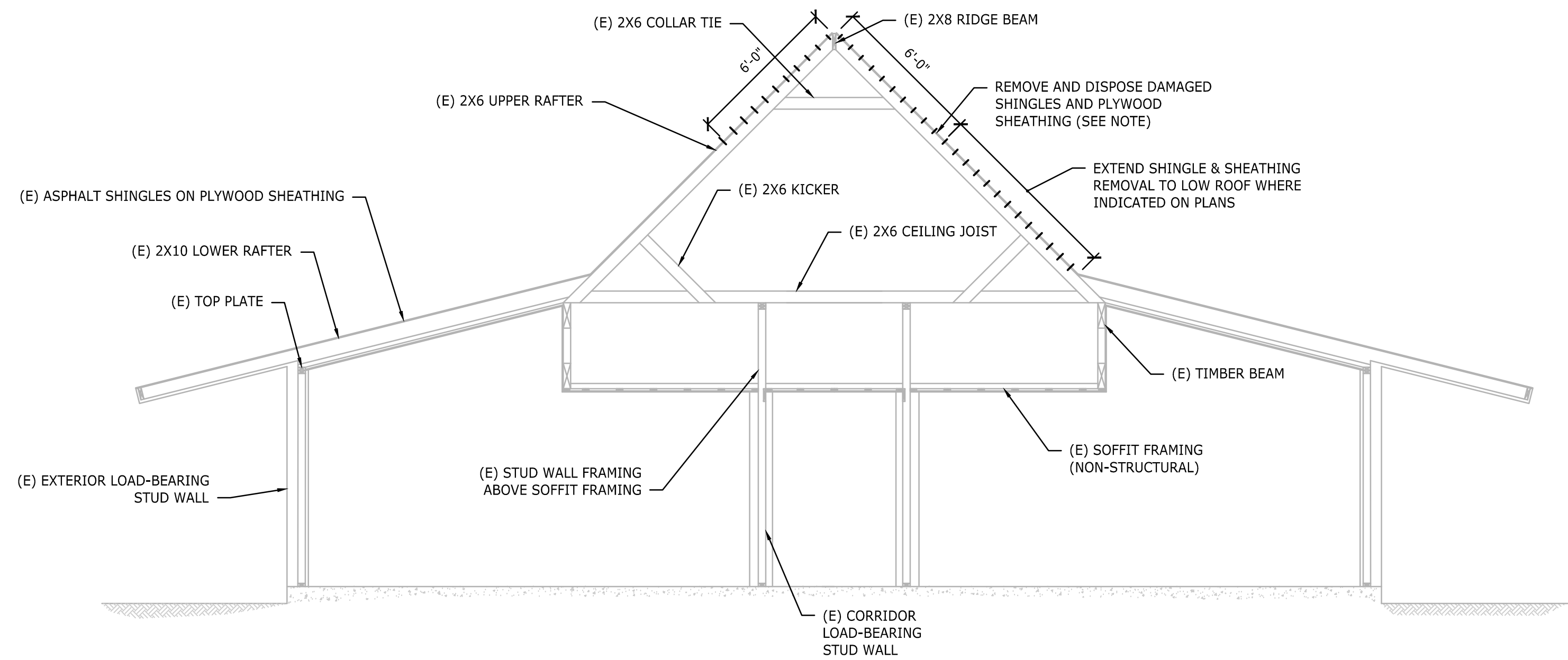
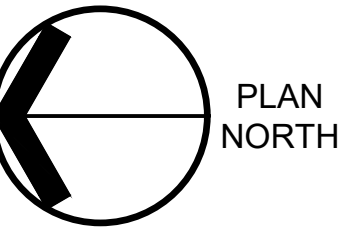
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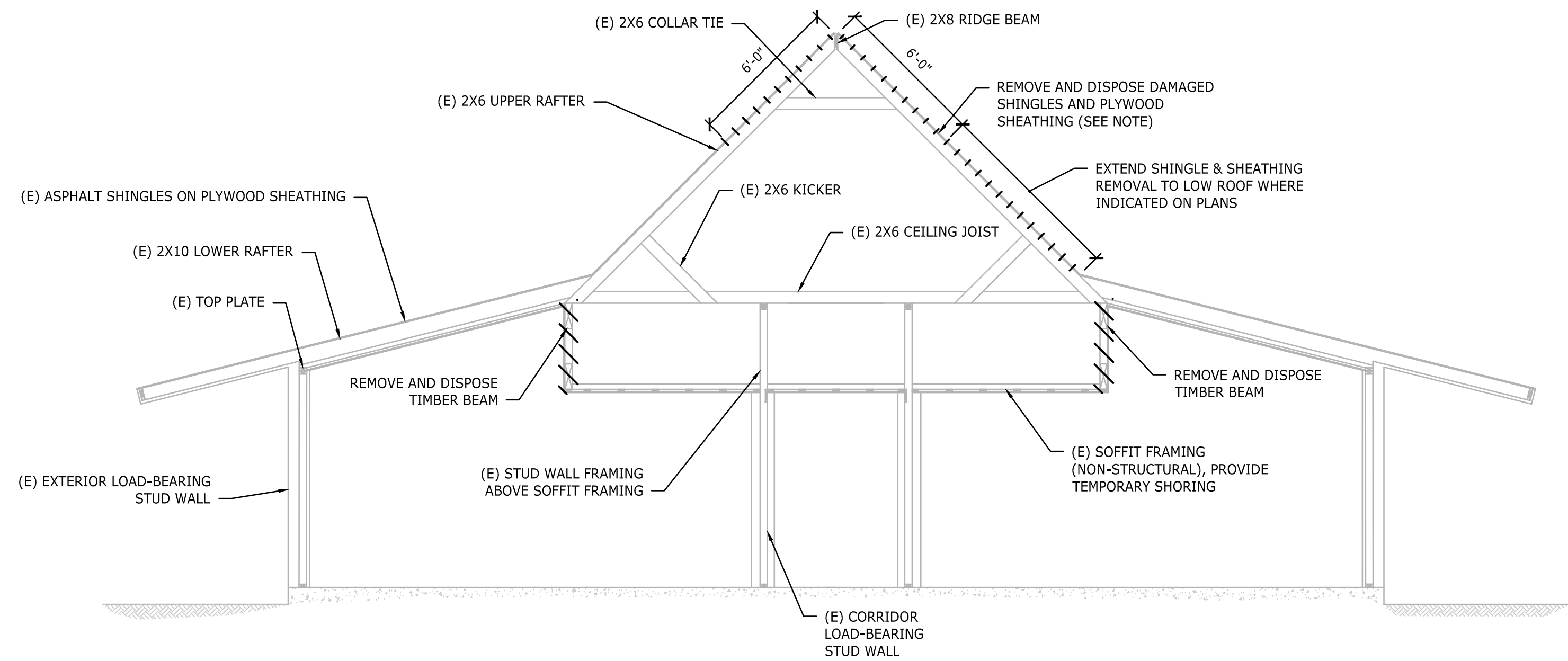
STRUCTURAL
DEMO SECTIONS - 1

SD3.1

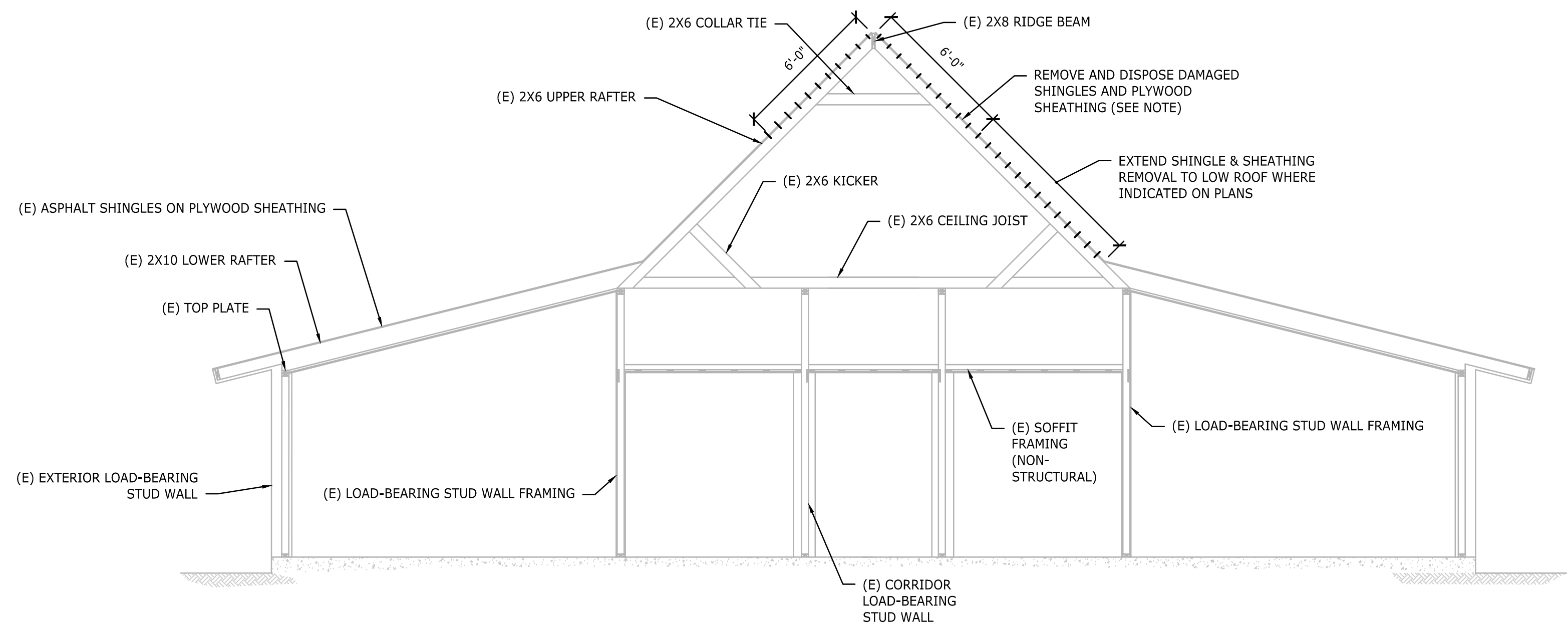
26007B - SD3.1 5 of 43



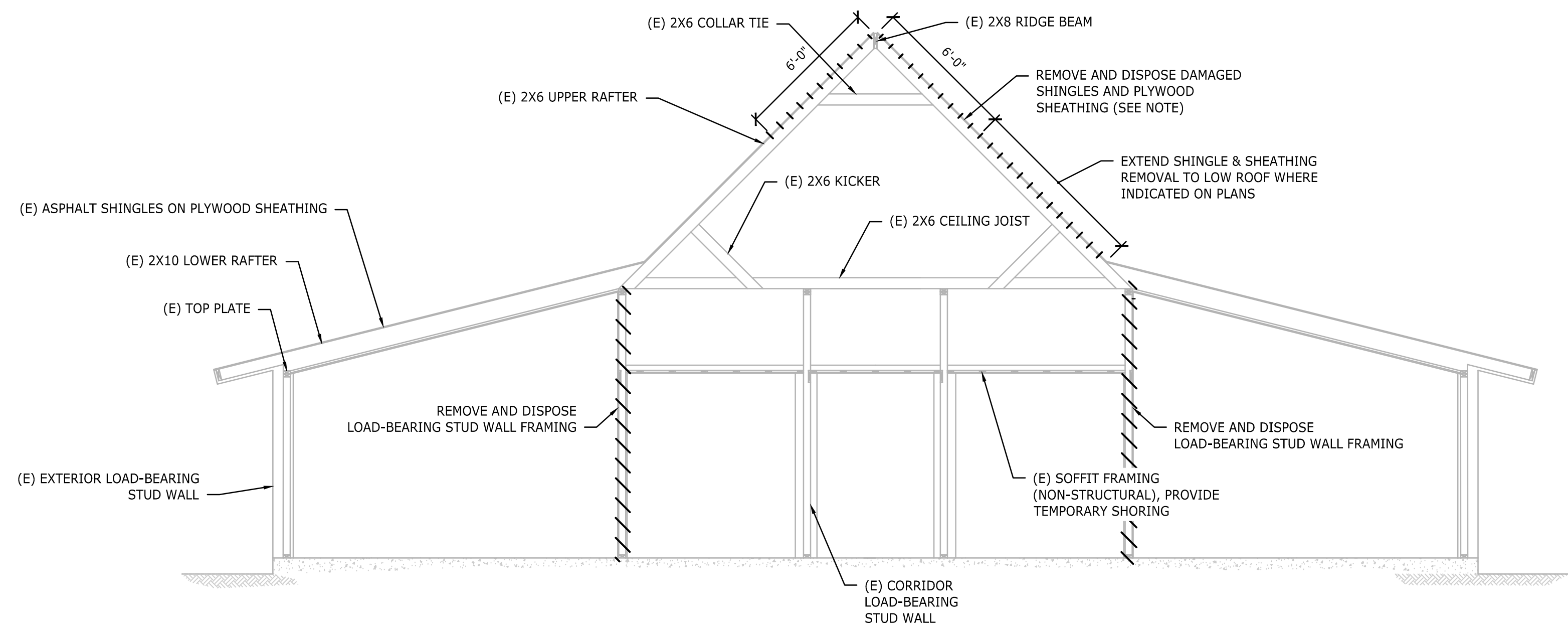
SECTION 3 BASE BID
SCALE: 1/4"=1'-0"



SECTION 3 ALTERNATE No. 1
SCALE: 1/4"=1'-0"



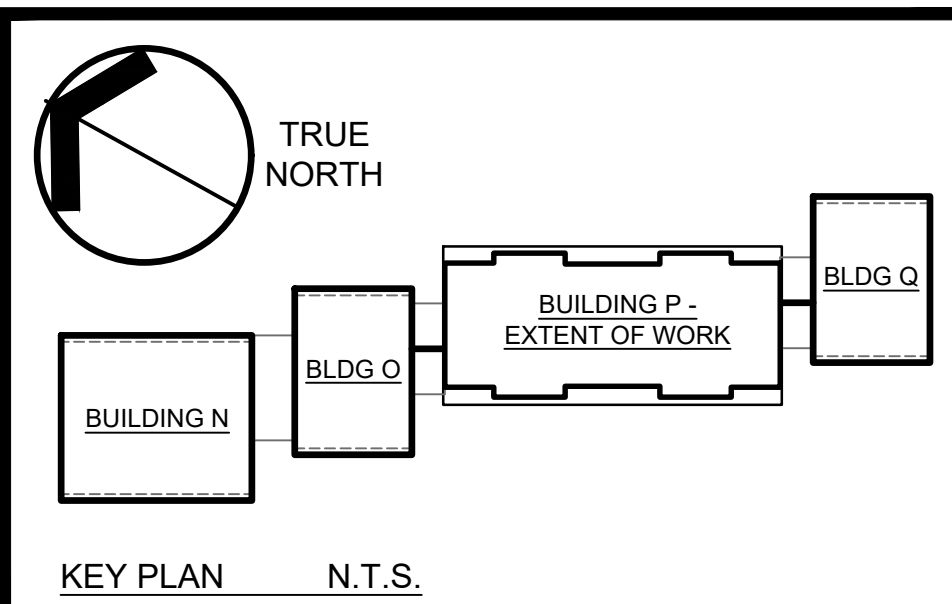
SECTION 4 BASE BID
SCALE: 1/4"=1'-0"



SECTION 4 ALTERNATE No. 1
SCALE: 1/4"=1'-0"

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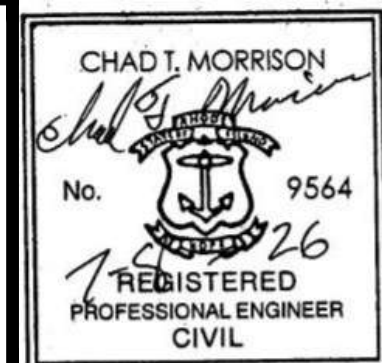
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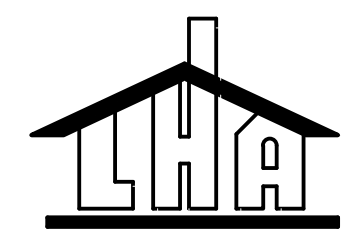
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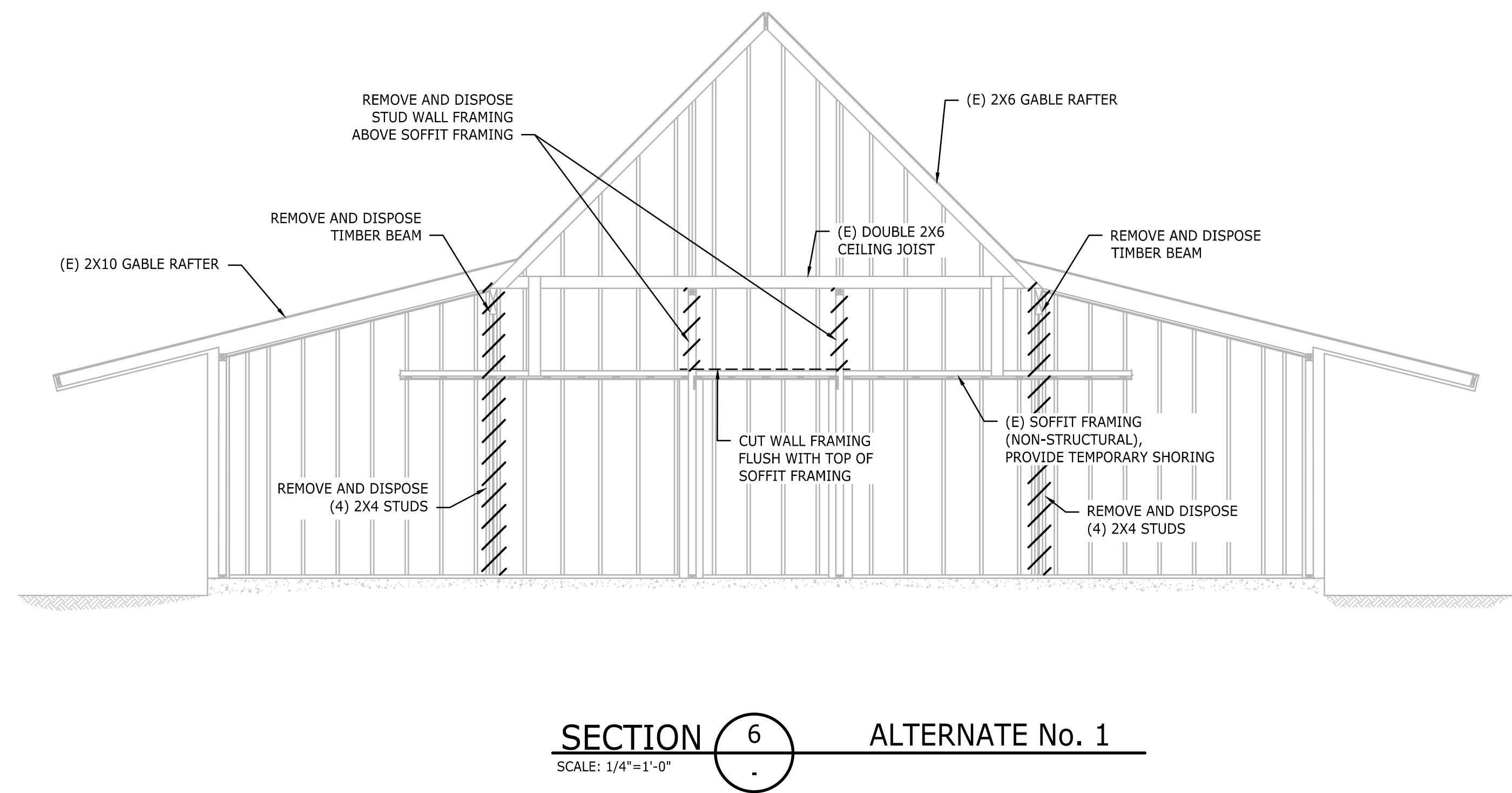
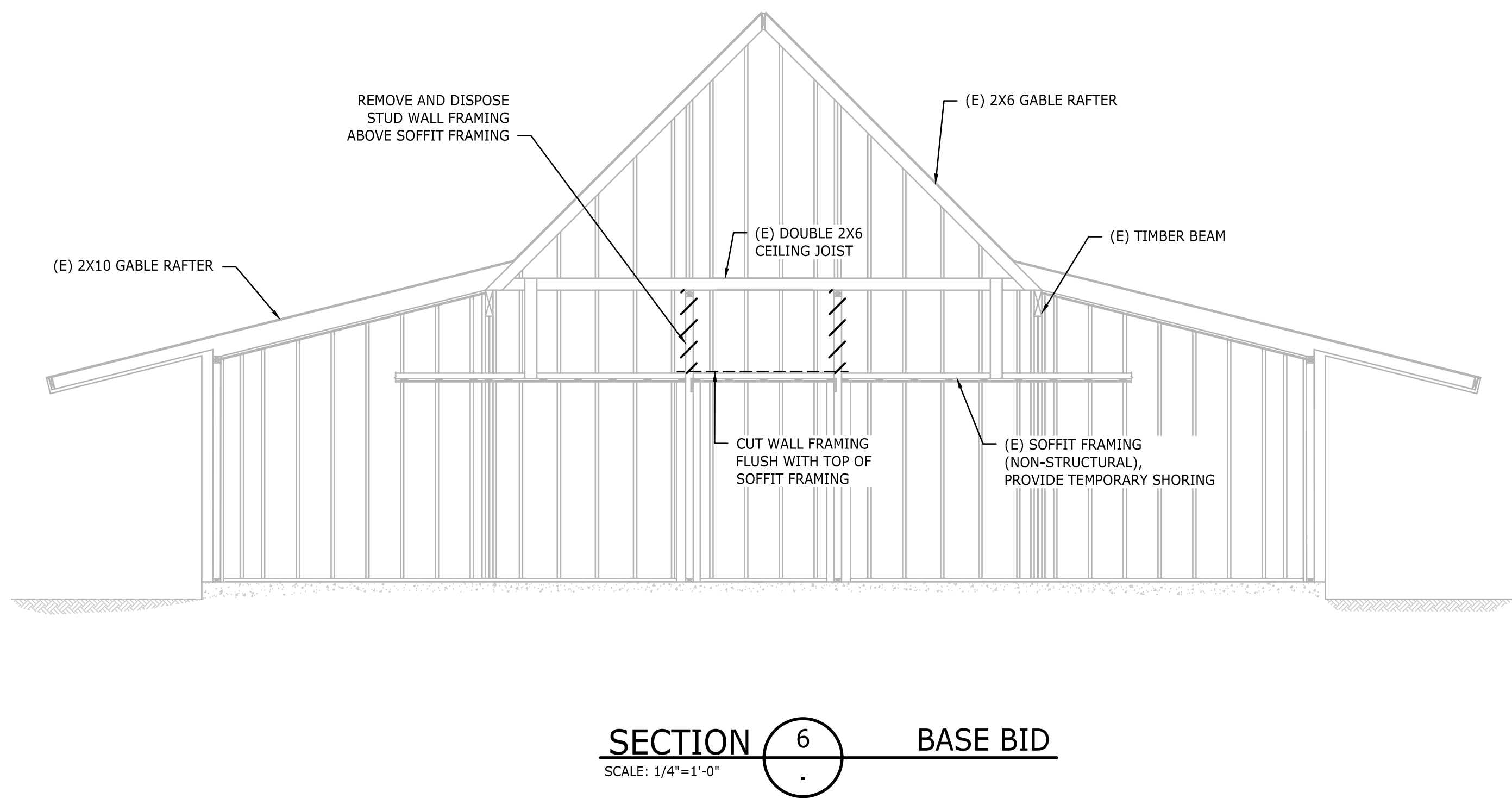
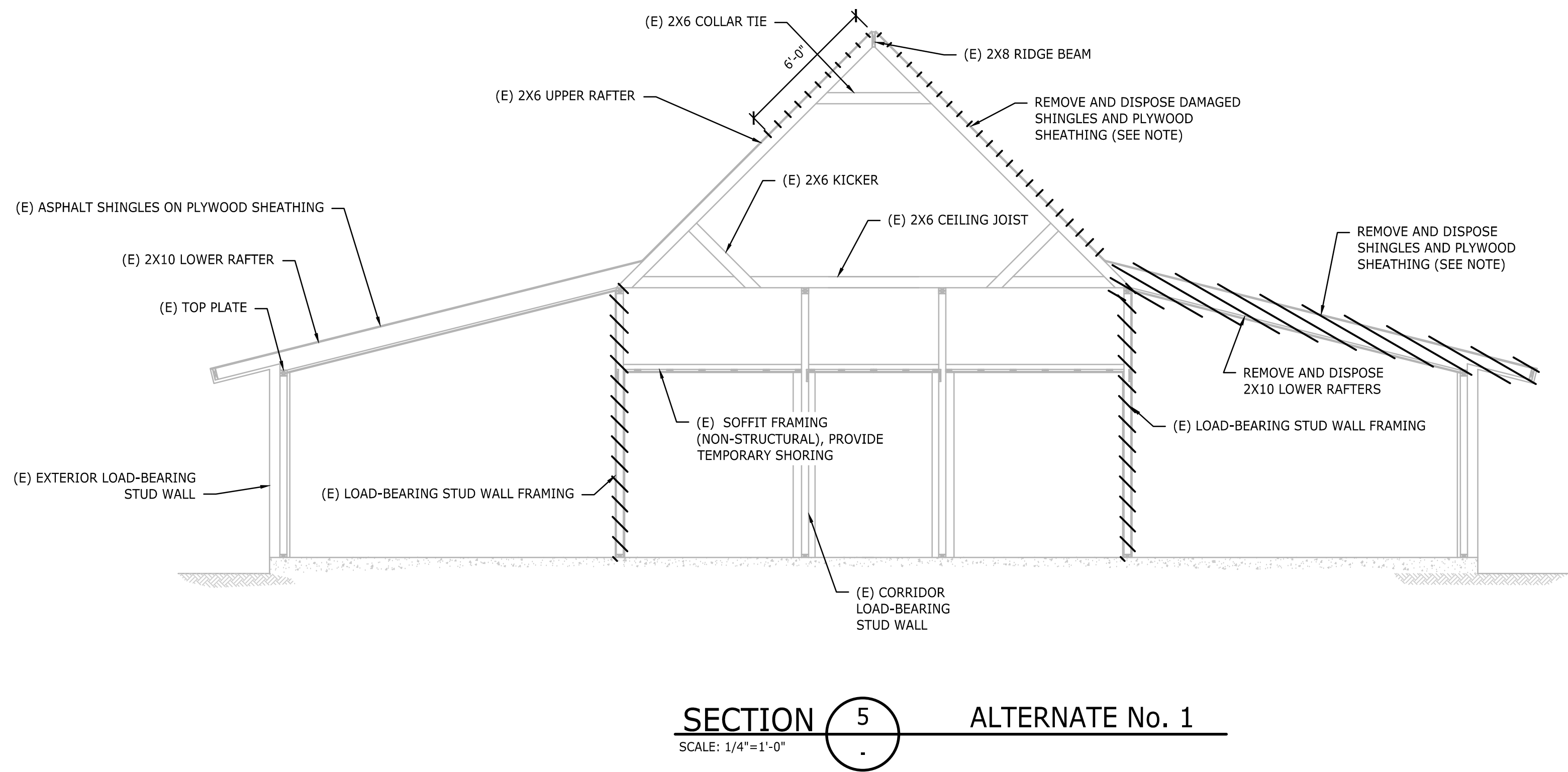
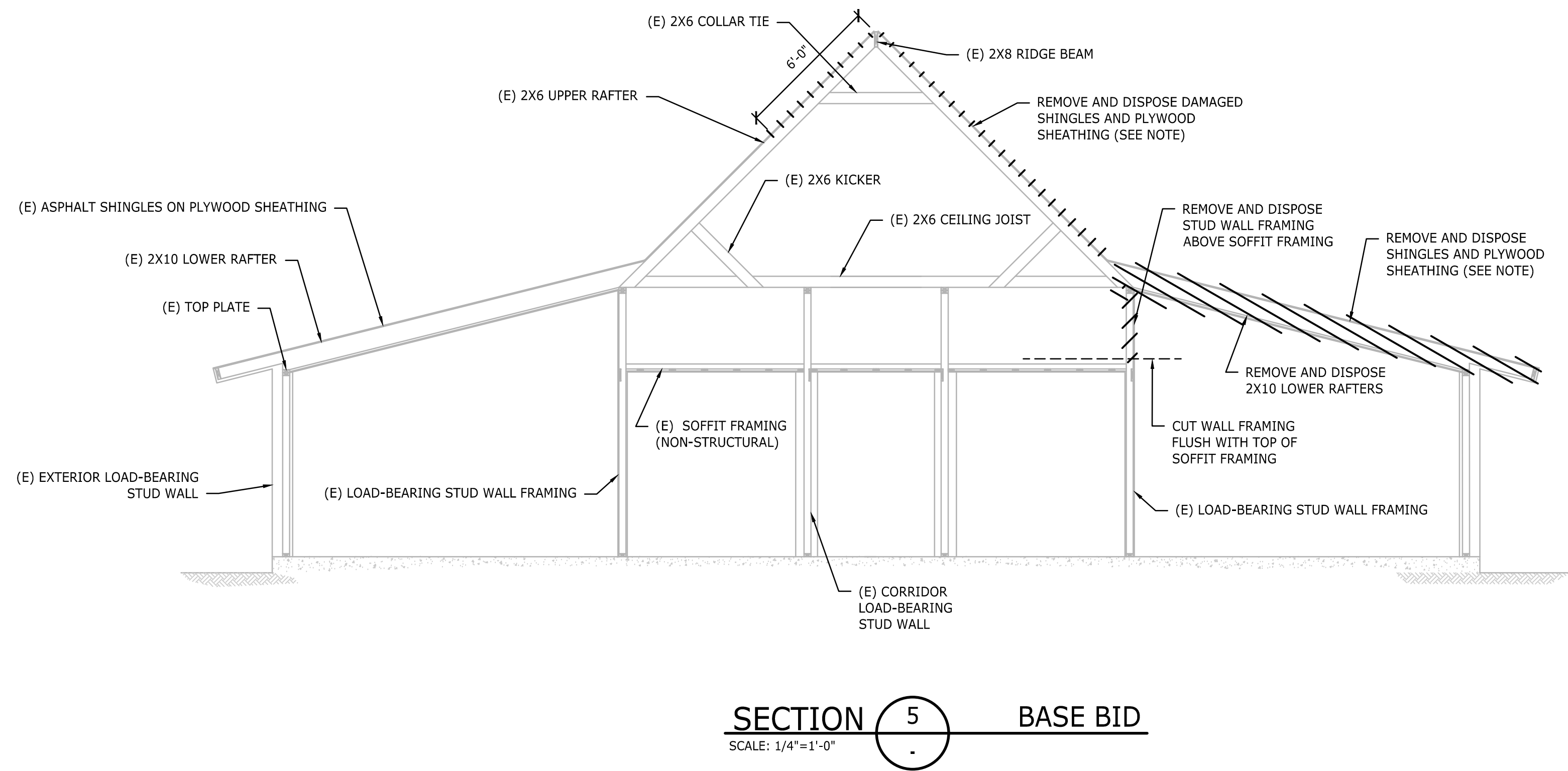
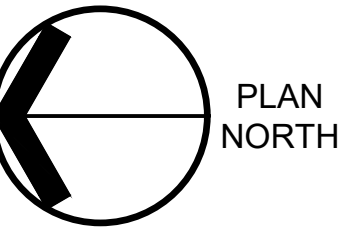
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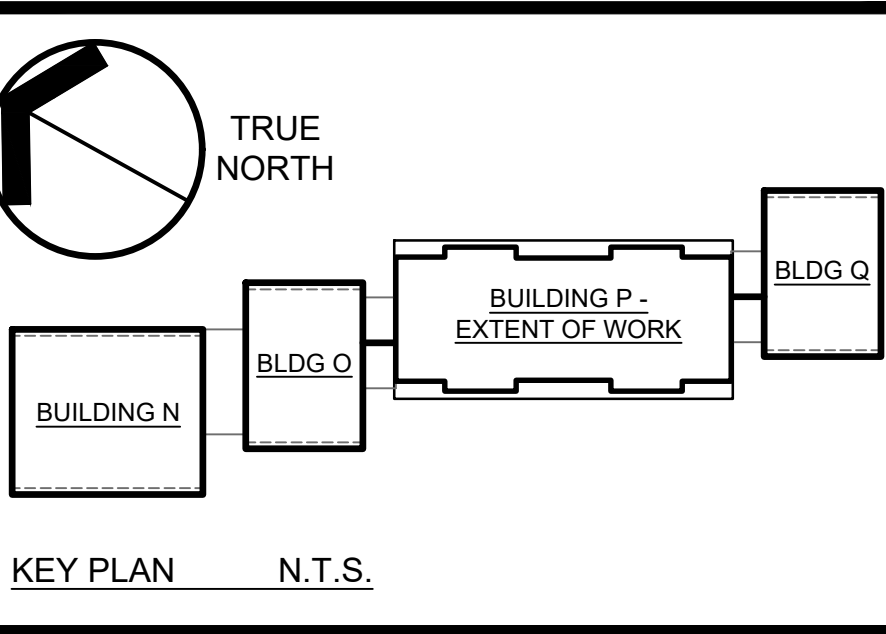
STRUCTURAL DEMO SECTIONS - 2

SD3.2



NOTE:
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LEGEND:
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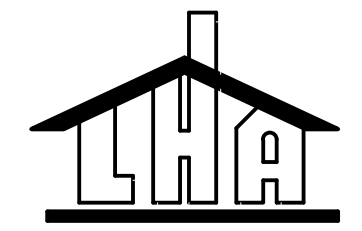
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STRUCTURAL
DEMO SECTIONS - 3

SD3.3

26078 - SD3.3 7 of 43

A. GENERAL STRUCTURAL REQUIREMENTS

- ALL METHODS OF CONSTRUCTION, DETAILS, NOTES, ETC., INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- ANY DISCREPANCIES ON THESE PLANS WITH REGARD TO DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF WORK.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT AND THE RHODE ISLAND STATE BUILDING CODE.
- THE LATEST EDITION OF THE FOLLOWING LISTED CODES SHALL APPLY. IN CASE OF CONFLICT, THE MORE RIGID REQUIREMENTS AND CODES SHALL GOVERN.
 - RHODE ISLAND STATE BUILDING CODE (STATE CODE): INTERNATIONAL BUILDING CODE, 2021 EDITION AND ITS APPLICABLE REFERENCED STANDARDS.
 - NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH SUPPLEMENTS
- THE DESIGN LOADS ARE RESISTED BY THE COMPLETED STRUCTURE ACTING AS A UNIT. THE CONTRACTOR SHALL DESIGN AND PROVIDE ANY AND ALL TEMPORARY BRACING, SHORING, OR ADDITIONAL REINFORCEMENT NECESSARY TO RESIST LOADS IMPOSED ON ANY PORTION OF THE STRUCTURE THROUGHOUT ALL STAGES OF CONSTRUCTION. THE SHORING SHALL BE DESIGNED TO RESIST ALL DEAD LOADS AND ANY APPLICABLE CONSTRUCTION LOADS.
- PLANS SHALL NOT BE SCALED FOR DIMENSIONS. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND TO BE VERIFIED IN FIELD BY CONTRACTOR.

B. DESIGN LOADS

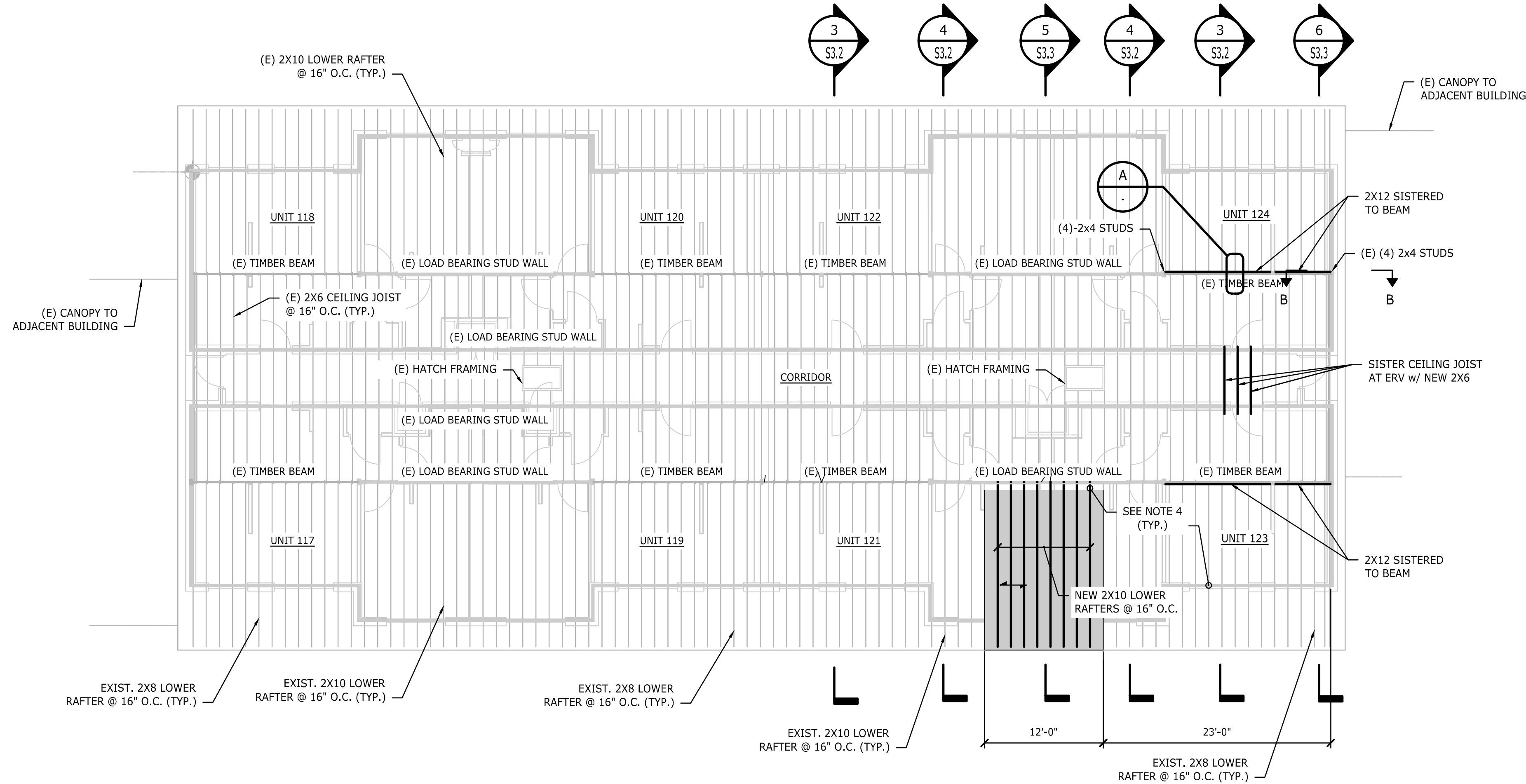
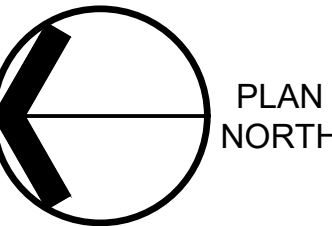
- GENERAL
 - BUILDING RISK CATEGORY II
- LIVE LOADS
 - ROOF (NOT APPLIED CONCURRENT WITH SNOW LOAD) 20 psf
- ROOF LIVE LOADS (SNOW):
 - IMPORTANCE FACTOR 1.0
 - GROUND SNOW LOAD (Pg) 40 psf
 - FLAT ROOF SNOW LOAD (Pf) 30 psf
 - EXPOSURE FACTOR (Ce) 1.0
 - THERMAL FACTOR (Ct) 1.0
- WIND LOADS
 - IMPORTANCE FACTOR 1.0
 - ULTIMATE WIND DESIGN SPEED (Vult) 124 mph
 - NOMINAL DESIGN WIND SPEED (Vasd) 97 mph
 - EXPOSURE CATEGORY C
 - ENCLOSED BUILDING (Gcp) ±0.18
- EARTHQUAKE LOADS
 - IMPORTANCE FACTOR 1.0
 - MAPPED SPECTRAL RESPONSE ACCELERATIONS (Ss, S1) 0.201, 0.056
 - SITE CLASS D (ASSUMED)
 - DESIGN SPECTRAL COEFFICIENTS (Sds, Sd1) 0.214, 0.09
 - SEISMIC DESIGN CATEGORY B

C. WOOD FRAMING

- ALL LUMBER FRAMING AND BUILDING COMPONENTS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE STATE CODE, MANUFACTURER'S REQUIREMENTS, THE AMERICAN FOREST AND PAPER ASSOCIATION (APFA) NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS), AND THESE DRAWINGS. LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%. WOOD FRAMING SHALL BE AS FOLLOWS:
 - TYPICAL FRAMING: SPRUCE-PINE-FIR No. 1/2 OR BETTER (Fb=875 PSI)
 - STUD FRAMING: SPRUCE-PINE-FIR STUD GRADE OR BETTER (Fb=725 PSI)
 - PSL POSTS: 1.8E PARALLAM PSL (Fcd = 2,500 PSI) BY WEYERHAEUSER OR APPROVED EQUIVALENT.
 - PRESSURE TREATED LUMBER (P.T.): SOUTHERN YELLOW PINE No. 2 OR BETTER
 - PSL 2.0E "PARALLAM PSL" (Fb=2,600 PSI) BY WEYERHAEUSER OR APPROVED EQUIVALENT
 - LVL: 1.9E "MICROLAM LVL" (Fb=2,600 PSI) BY WEYERHAEUSER OR APPROVED EQUIVALENT
- FOR ENGINEERED FRAMING (E.G. LVL, PSL) NOT ALL CONDITIONS AND DETAILS ARE SHOWN ON THESE PLANS. MANUFACTURER'S TYPICAL DETAILS AND INSTALLATION GUIDELINES SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS.
- ALL SILL PLATES PLATES SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA USE CATEGORY UC2 AND SIZED AS INDICATED ON PLANS.
- REFER TO PLANS FOR SHEATHING REQUIREMENTS.
- ALL JOISTS/RAFTERS SHALL BEAR A MINIMUM OF 2" ON ALL BEAMS AND WALL PLATES.
- PROVIDE PANEL EDGE CLIPS, TYPE "PSCL" BY SIMPSON OR EQUIVALENT, ALONG ROOF SHEATHING. ONE CLIP SHALL BE PLACED MIDWAY BETWEEN EACH SUPPORT.
- COMPONENTS, ANCHORS, AND FASTENERS DESIGNATED AS "GALVANIZED" OR "GALV." SHALL BE HOT-DIPPED GALVANIZED (G90 MINIMUM) IN ACCORDANCE WITH ASTM A123, A153, OR A653 AS APPROPRIATE.
- PROVIDE CONTINUOUS DOUBLE TOP PLATES ALONG WOOD FRAMED BEARING WALLS AND ABOVE STEEL BEAMS, TYPICAL UNLESS NOTED OTHERWISE. OVERLAP AT CORNERS AND WALL INTERSECTIONS.
- ALL NEW AND EXISTING RAFTERS, STUD POSTS, AND PSL POSTS TO RECEIVE HURRICANE TIE DOWN STRAPS. ALL STRAPPING AND CONNECTORS SHALL BE GALVANIZED. REFER TO NOTE 4 ON S1.0 AND S2.0 AS WELL AS ELEVATION 7/S2.0 FOR TYPICAL CONNECTION DETAILS APPLICABLE FOR BOTH BASE BID AND ALTERNATE No. 1.

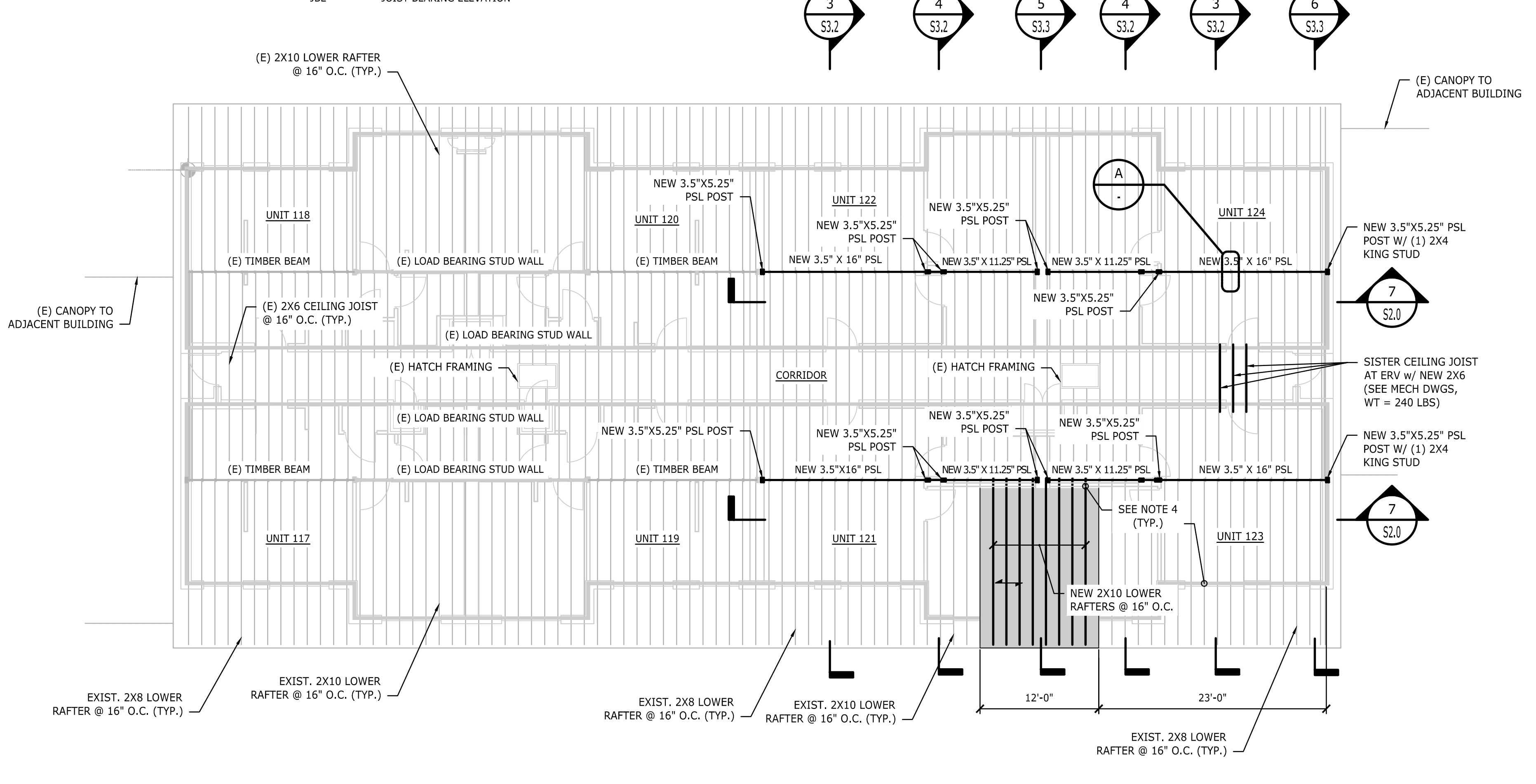
ABBREVIATIONS

ADD'L	ADDITIONAL	LG.	LONG
ALT	ALTERNATE	LONG.	LONGITUDINAL
A.B.	ANCHOR BOLT	LLV	LONG LEG VERTICAL
ARCH	ARCHITECT	L.W.	LONG WAY
BOF	BOTTOM	L.W.C.	LIGHT WEIGHT CONCRETE
BEW	BOTTOM EACH WAY	MAX.	MAXIMUM
BM	BEAM	MECH	MECHANICAL
BGF	BOTTOM OF FOOTING	M.M.	MISCELLANEOUS METAL
BRG	BEARING	MINIUM	MINIMUM
BS	BOTH SIDES	MTL	METAL
C	CAMBER	NF	NEAR FACE
CTMF	COLD FORMED METAL FRAMING	N-S	NON SHRINK
CIP	CAST-IN-PLACE	NTS	NOT TO SCALE
CLR	CLEAR	O.C.	ON CENTER
COL	COLUMN	PL	PLATE
COMP. DK.	COMPOSITE DECK	OPNG	OPENING
CONC.	CONCRETE	R & D	REMOVE AND DISPOSE
CMU	CONCRETE MASONRY UNIT	REINF.	REINFORCING
CI	CONTROL JOINT	SC	SHEAR CONNECTOR
CONST. JT.	CONSTRUCTION JOINT	SLV	SHORT LEG VERTICAL
CONT.	CONTINUOUS	SOG	SLAB ON GRADE
DIA or Ø	DIAMETER	S.S.	STAINLESS STEEL
DWL'S	DOWELS	STIFF	STIFFENER
DWG	DRAWING	STL	STEEL
EACH	EACH	STJ	STEEL JOINT
E.F.	EACH FACE	T	TOP
E.W.	EACH WAY	TCX	TOP CHORD EXTENSION
EL	ELEVATION	THK	THICK
E.J.	EXPANSION JOINT	TOC	TOP OF CONCRETE
EQ.	EQUAL	TOF	TOP OF FOOTING
EX. or EXIST.	EXISTING	TOW	TOP OF WALL
F.F.	FINISH FLOOR ELEVATION	TRANS.	TRANSVERSE
FFE	FINISH FLOOR ELEVATION	TSL	TOP OF SLAB
FND	FOUNDATION	TST	TOP OF STEEL
FTG	FOOTING	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	VERT.	VERTICAL
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	WWF	WELDED WIRE FABRIC
HSS	HOLLOW STRUCTURAL SHAPE	W/	WITH
I.F.	INSIDE FACE	W.P.	WORKING POINT
JBE	JOIST BEARING ELEVATION		



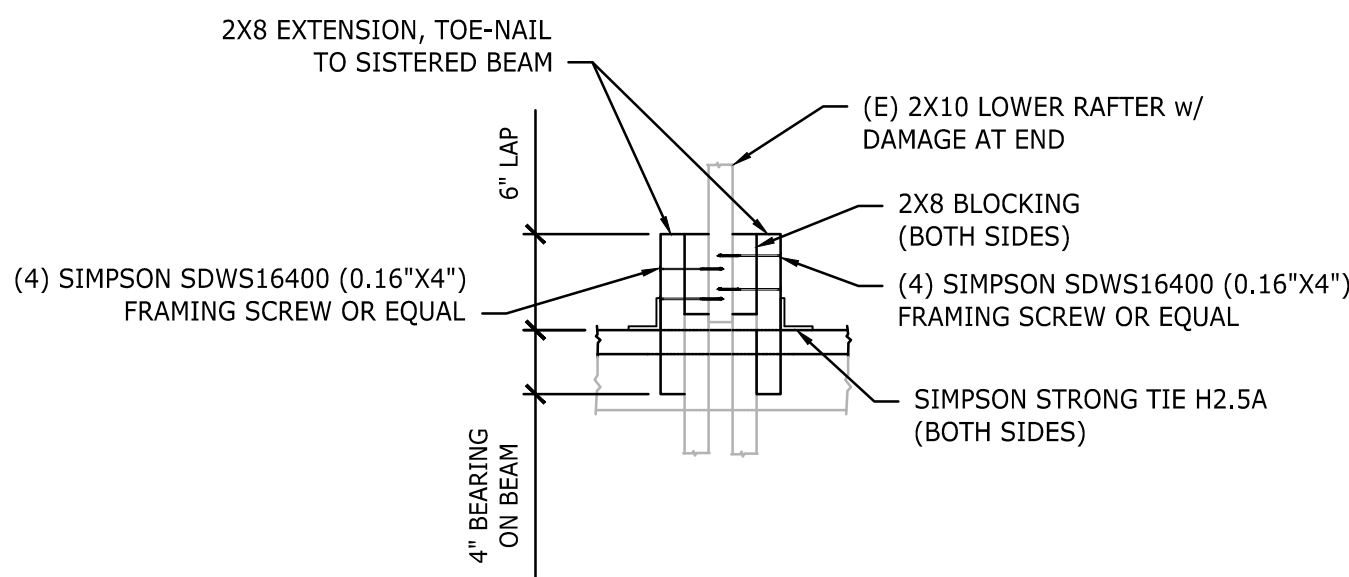
BUILDING P - LINCOLN MANOR - LOWER ROOF FRAMING PLAN (BASE BID)

SCALE: 1/8"=1'-0"



BUILDING P - LINCOLN MANOR - LOWER ROOF FRAMING PLAN (ALTERNATE No.1)

SCALE: 1/8"=1'-0"



DETAIL A

SCALE: 1"=1'-0"

NOTES:

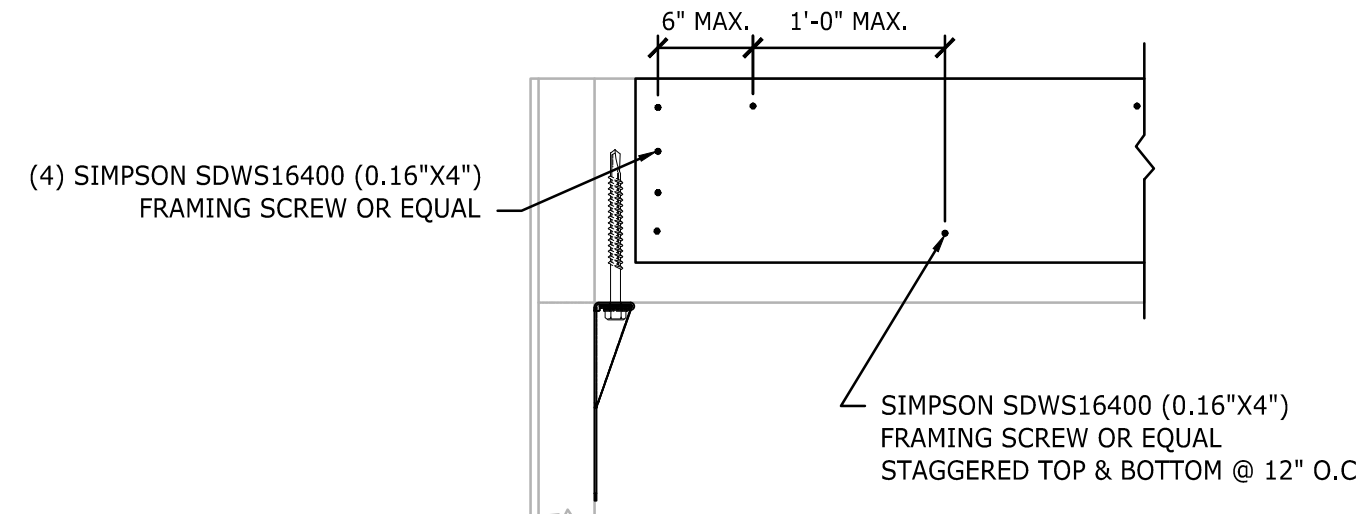
- APPLICABLE AT (2) DAMAGED LOWER RAFTERS

NOTES:

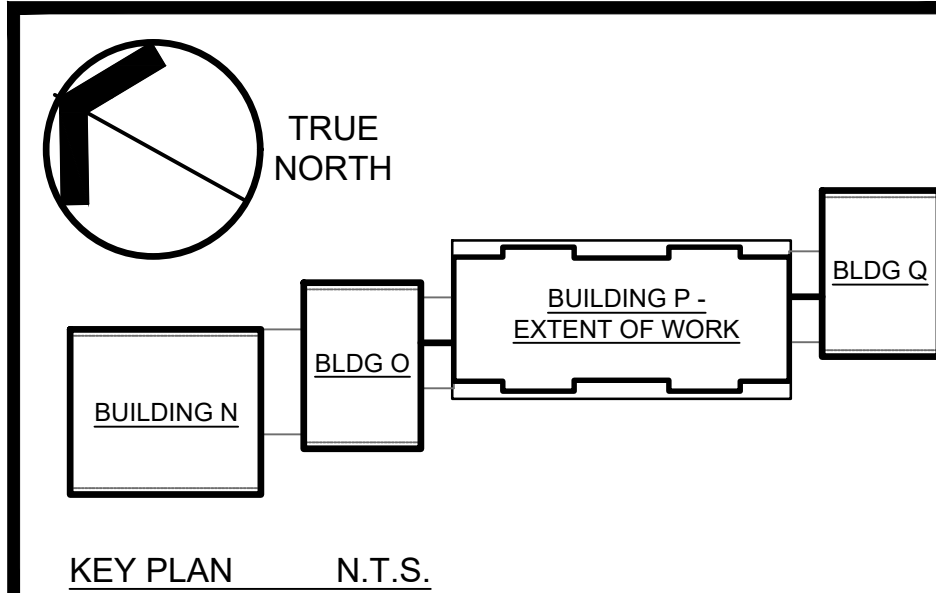
- SOME NON-LOAD BEARING WALLS NOT SHOWN FOR CLARITY.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
- NEW SHEATHING TO BE 1/2" PLYWOOD APA 1-09 RATING 32/16, EXPOSURE 1 GRADE, FASTENED WITH 8d X 2 1/2" GALV. COMMON NAIL @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS. NAILS TO BE SPACED 6" O.C. AT INTERMEDIATE SUPPORTS AT OVERHANGS.
- INSTALL H2.5A (GALV.) HURRICANE STRAP BY SIMPSON OR APPROVED EQUIVALENT AT ALL NEW AND EXISTING RAFTER AND TRUSS BEARING LOCATIONS.

LEGEND:

- INDICATES LIMITS OF NEW SHEATHING (SEE NOTE 3)
- INDICATES SPAN DIRECTION OF NEW SHEATHING
- INDICATES EXISTING STRUCTURE
- INDICATES NEW FRAMING MEMBER
- INDICATES NEW LOAD-BEARING STUD WALL



SECTION B-B



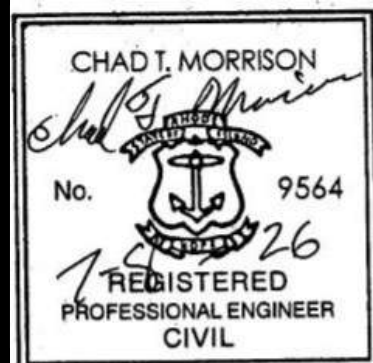
GENERAL NOTES

- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS AND DATA PROVIDED BY THE OWNER AND A/E FIELD SURVEY. NO WARRANTY OF ACTUAL CONDITIONS IS INTENDED BY ARCHITECT OR OWNER. CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS WITH NEW WORK PRIOR TO BID, START OF CONSTRUCTION OR ANY FABRICATION.
- CONTRACTOR SHALL VISIT SITE PRIOR TO BID, AND CAREFULLY INVESTIGATE AND EXAMINE THE AREA OF WORK SO AS TO SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK. CONTRACTOR TO NOTE THE CHARACTER, QUALITY, QUANTITIES OF MATERIALS REQUIRED AND DIFFICULTIES TO BE ENCOUNTERED. THE KIND AND EXTENT OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK AND OTHER ITEMS WHICH MAY, IN ANY WAY, AFFECT THE WORK OR CONTRACTOR'S PERFORMANCE.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- NO EXITS SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- THE BUILDING WILL BE OCCUPIED DURING ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEVELOPED WITH THE UNDERSTANDING THAT THE BUILDING IS OCCUPIED AND THAT IT CAN NEITHER BE CLOSED NOR CAN THE OWNER'S OPERATIONS STOP.



400 Massachusetts Avenue,
Suite 300, Second Floor
East Providence, Rhode Island
P. (401) 331-9200

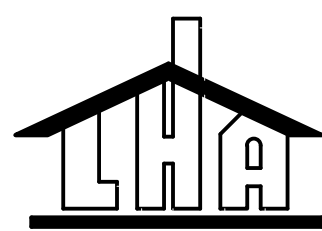
2 Hampshire Street,
Suite 106, First Floor
Foxboro, Massachusetts
P. (773) 215-0500
rowse@rowsearchitects.com



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Date: JUNE 8, 2026		
Drawn by: MSS		Proj. Mgr.: KMC
<u>Revisions</u>		
No.	Date	Description

Lincoln Manor Building P - Renovations

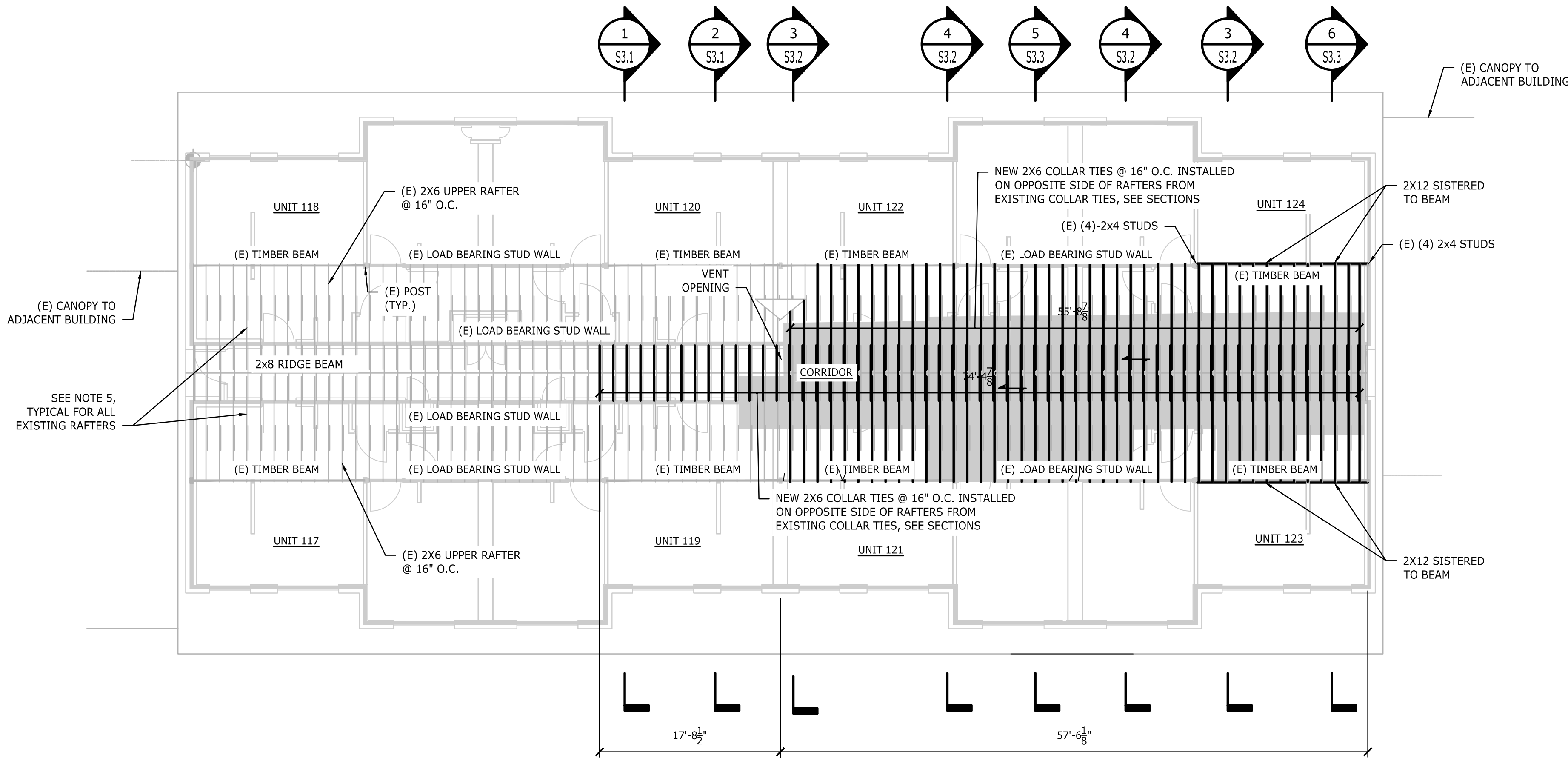


Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

LOWER ROOF FRAMING PLAN

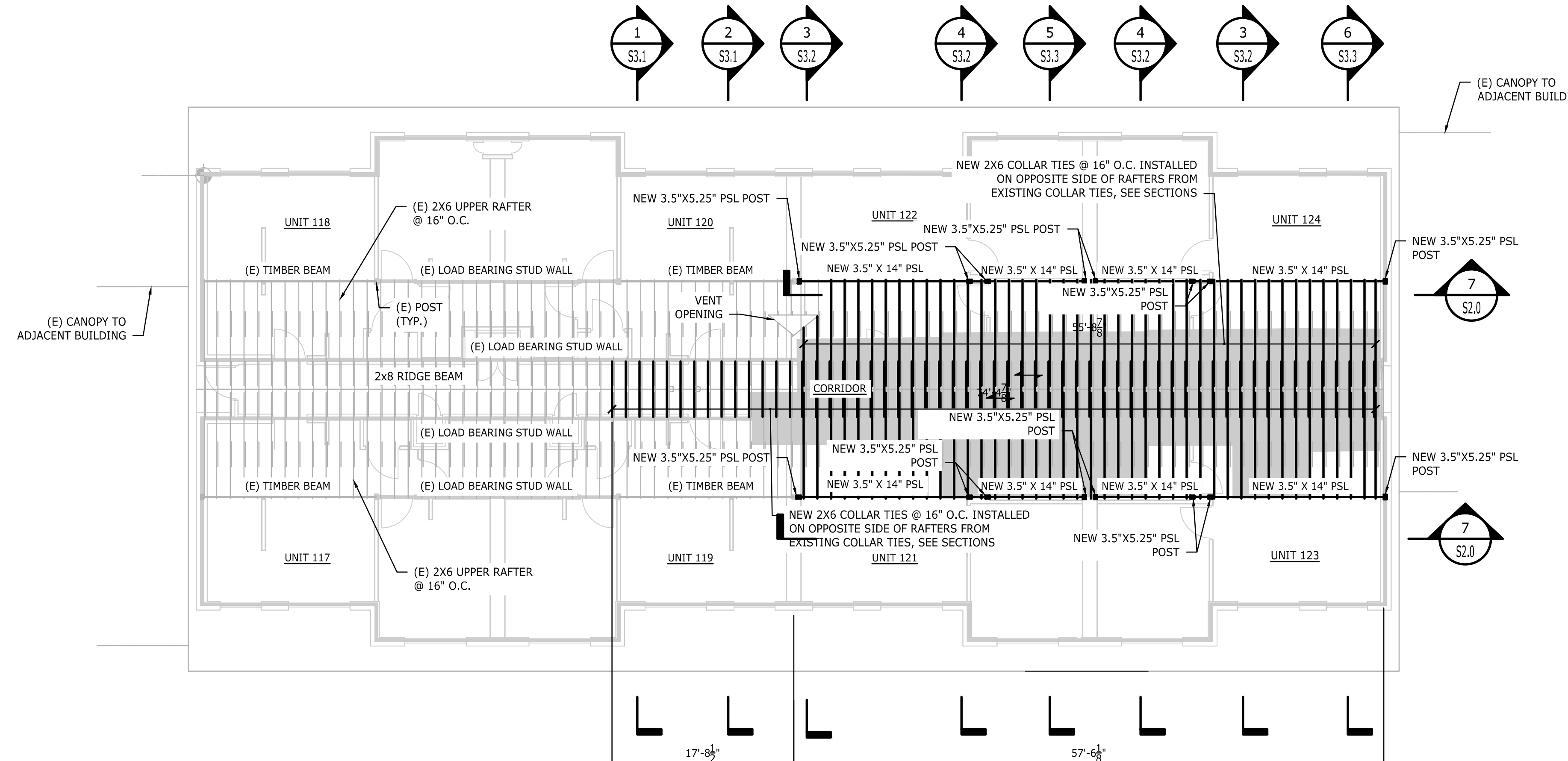
S1.0

26007B - S1.0 8 of 43



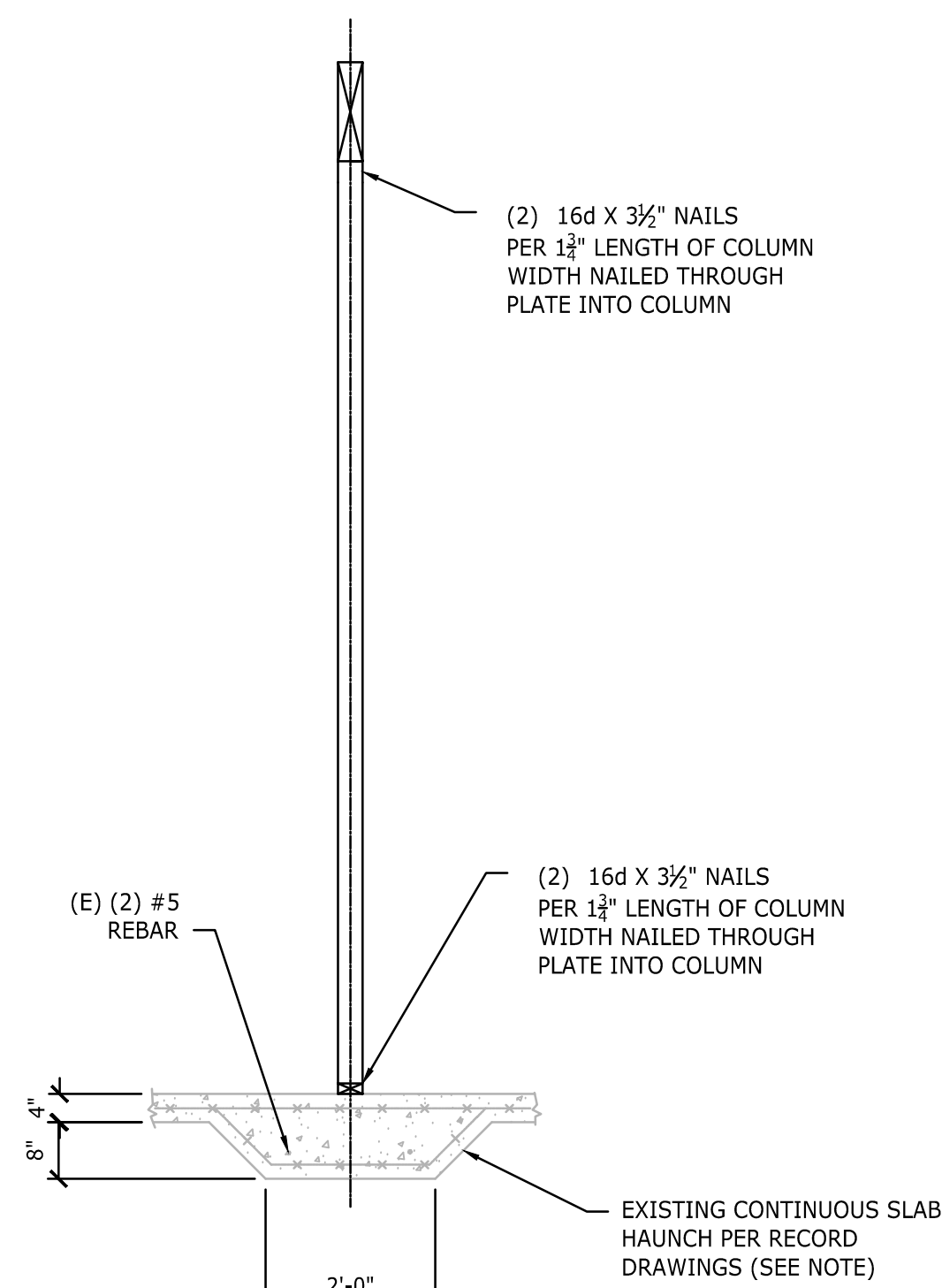
BUILDING P - LINCOLN MANOR - UPPER ROOF FRAMING PLAN (BASE BID)

SCALE: 1/8"=1'-0"



BUILDING P - LINCOLN MANOR - UPPER ROOF FRAMING PLAN (ALTERNATE No.1)

SCALE: 1/8"=1'-0"



SECTION E-E

NOTE:

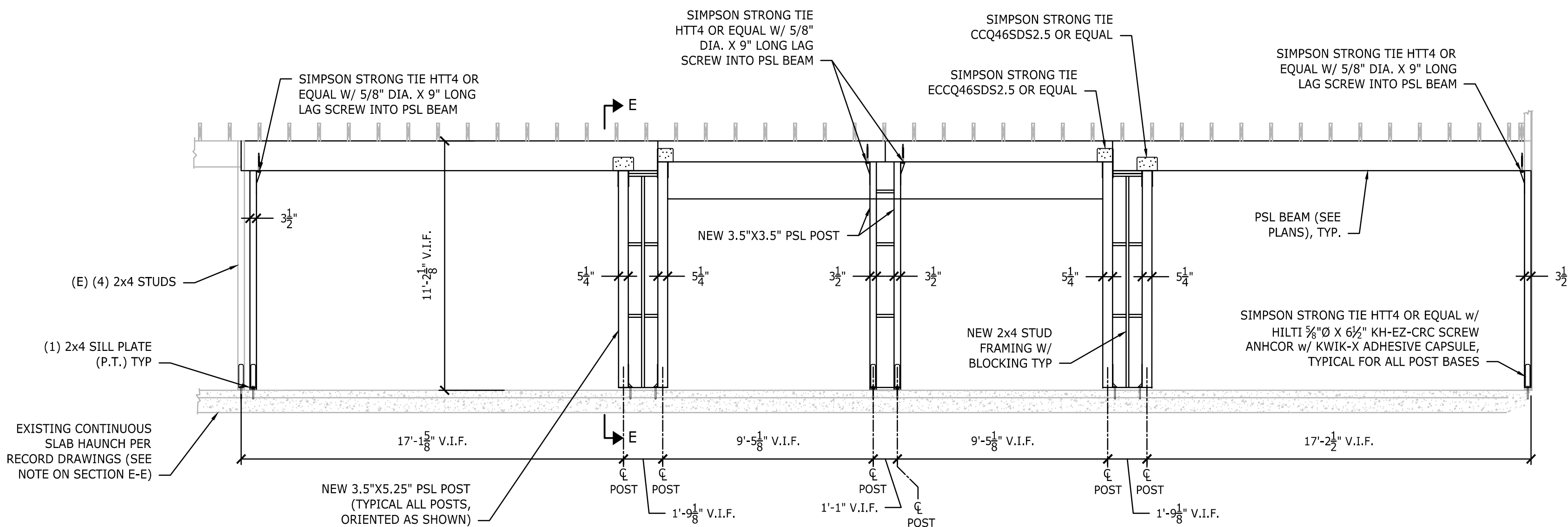
CONTRACTOR SHALL SCAN EXISTING SLAB WITH GROUND-PENETRATING RADAR TO VERIFY PRESENCE OF CONTINUOUS HAUNCHED SLAB AS SHOWN. SCANNING SHALL OCCUR PRIOR TO INSTALLATION OF NEW FRAMING. NOTIFY ENGINEER FOR DIRECTION ON HOW TO PROCEED IF HAUNCH IS NOT FOUND OR IF HAUNCH HAS DIFFERENT DIMENSIONS THAN THOSE SHOWN.

NOTES:

- SOME NON-LOAD BEARING WALLS NOT SHOWN FOR CLARITY.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
- NEW SHEATHING TO BE 1/2" PLYWOOD APA 1-09 RATING 32/16, EXPOSURE 1, GRADE, FASTENED WITH 8d X 2 1/2" GALV. COMMON NAIL @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS. NAILS TO BE SPACED 6" O.C. AT INTERMEDIATE SUPPORTS AT OVERHANGS.
- INSTALL H2.5A (GALV.) HURRICANE STRAP BY SIMPSON OR APPROVED EQUIVALENT AT ALL NEW AND EXISTING RAFTER AND TRUSS BEARING LOCATIONS.
- INSTALL NEW 2X4 (SET VERTICAL) ALONG UNDERSIDE OF ALL EXISTING RAFTERS FOR INSULATION, COORDINATE WITH ARCHITECTURAL DRAWINGS. FASTEN WITH 6" LONG HEADLOK SCREWS (OR EQUAL) AT 3'-0" ON-CENTER ALONG 2X4. REFER TO SECTION A-A ON DRAWING S3.1 FOR CONFIGURATION.

LEGEND:

- INDICATES LIMITS OF NEW SHEATHING (SEE NOTE 3)
- INDICATES SPAN DIRECTION OF NEW SHEATHING
- INDICATES EXISTING STRUCTURE
- INDICATES NEW FRAMING MEMBER
- INDICATES NEW LOAD-BEARING STUD WALL

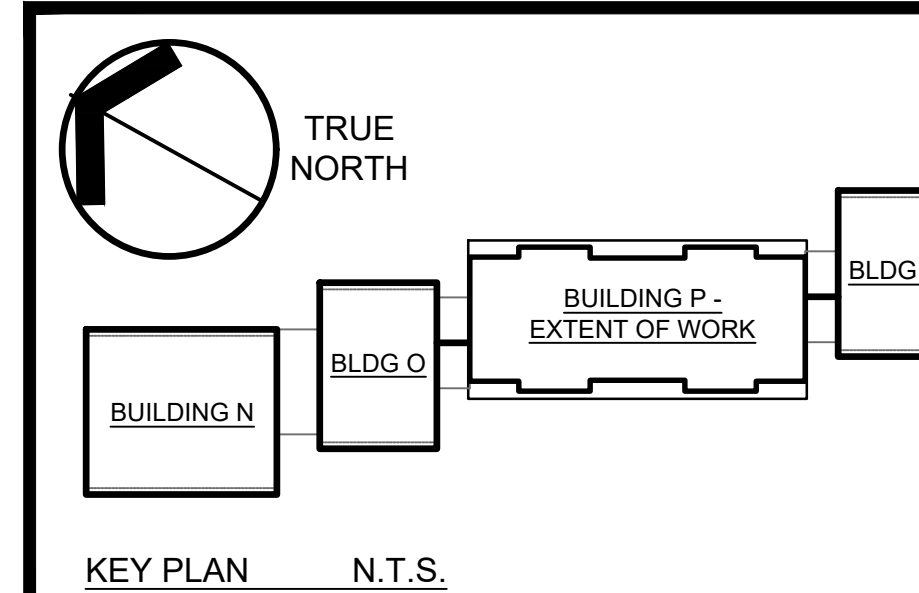


NOTES:

ALL COMPONENTS AND CONNECTORS SHALL BE GALVANIZED

ELEVATION 7

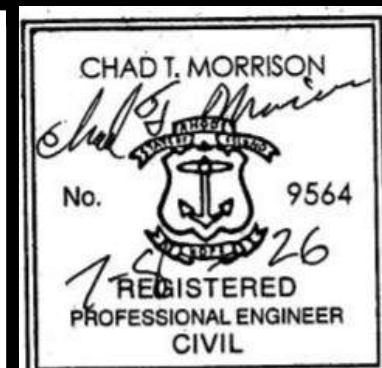
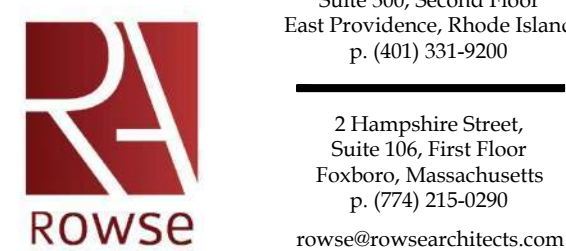
SCALE: 1/4"=1'-0"



KEY PLAN N.T.S.

GENERAL NOTES

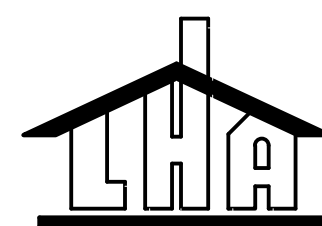
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Date:	JUNE 8, 2026	
Drawn by:	MSS	Proj. Mgr.: KMC
Revisions		
No.	Date	Description

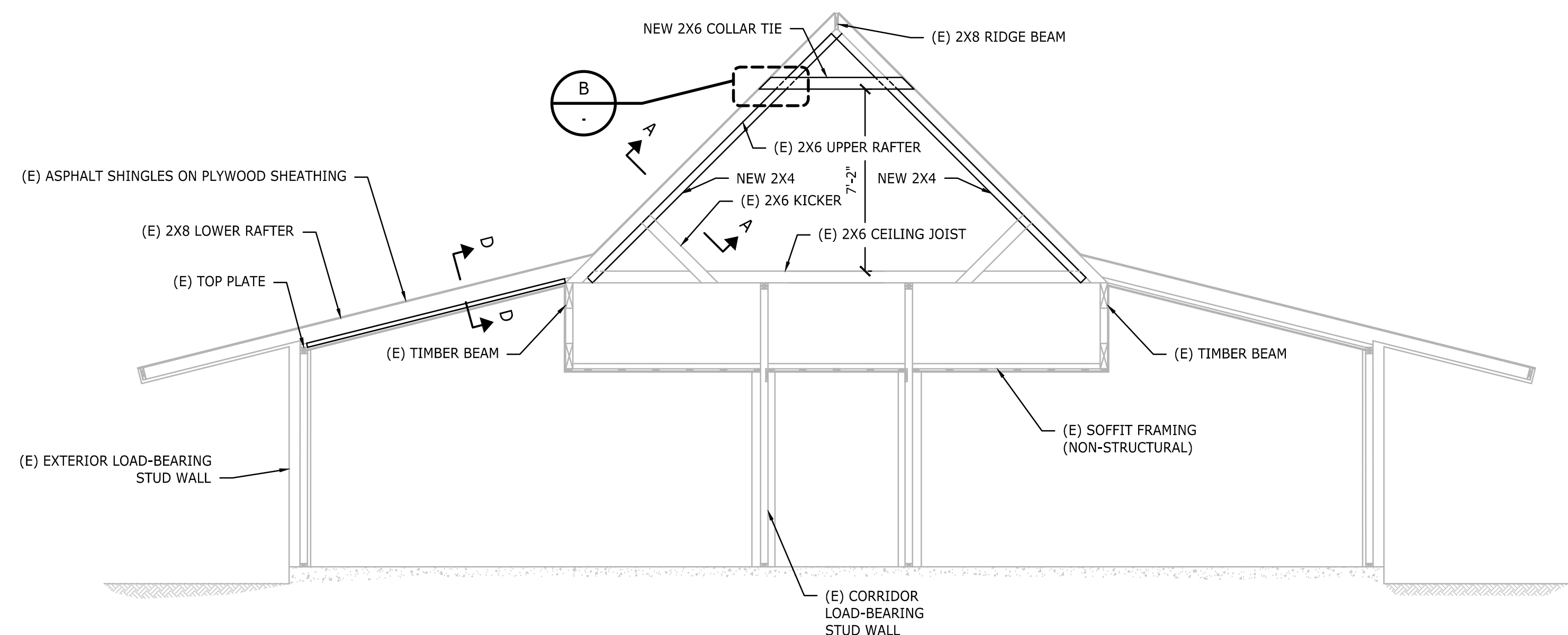
**Lincoln Manor
Building P - Renovations**



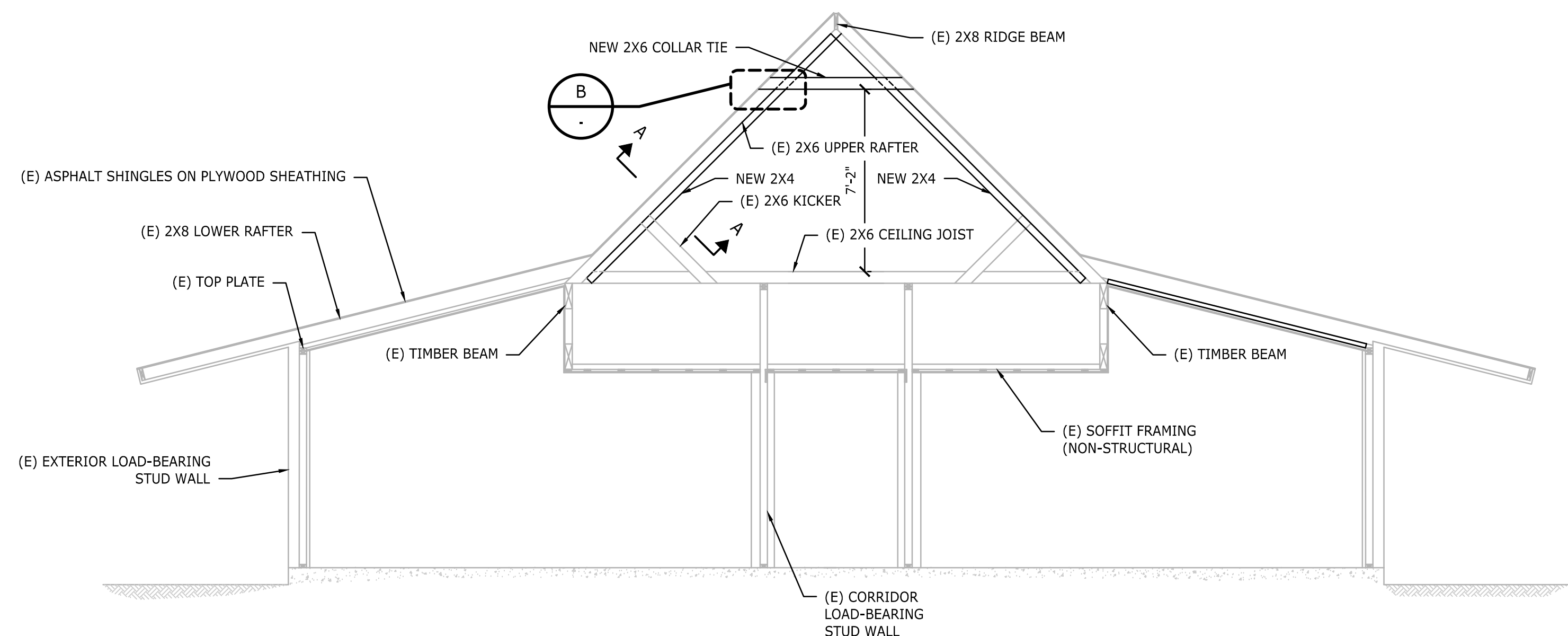
Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

**UPPER ROOF
FRAMING PLAN**

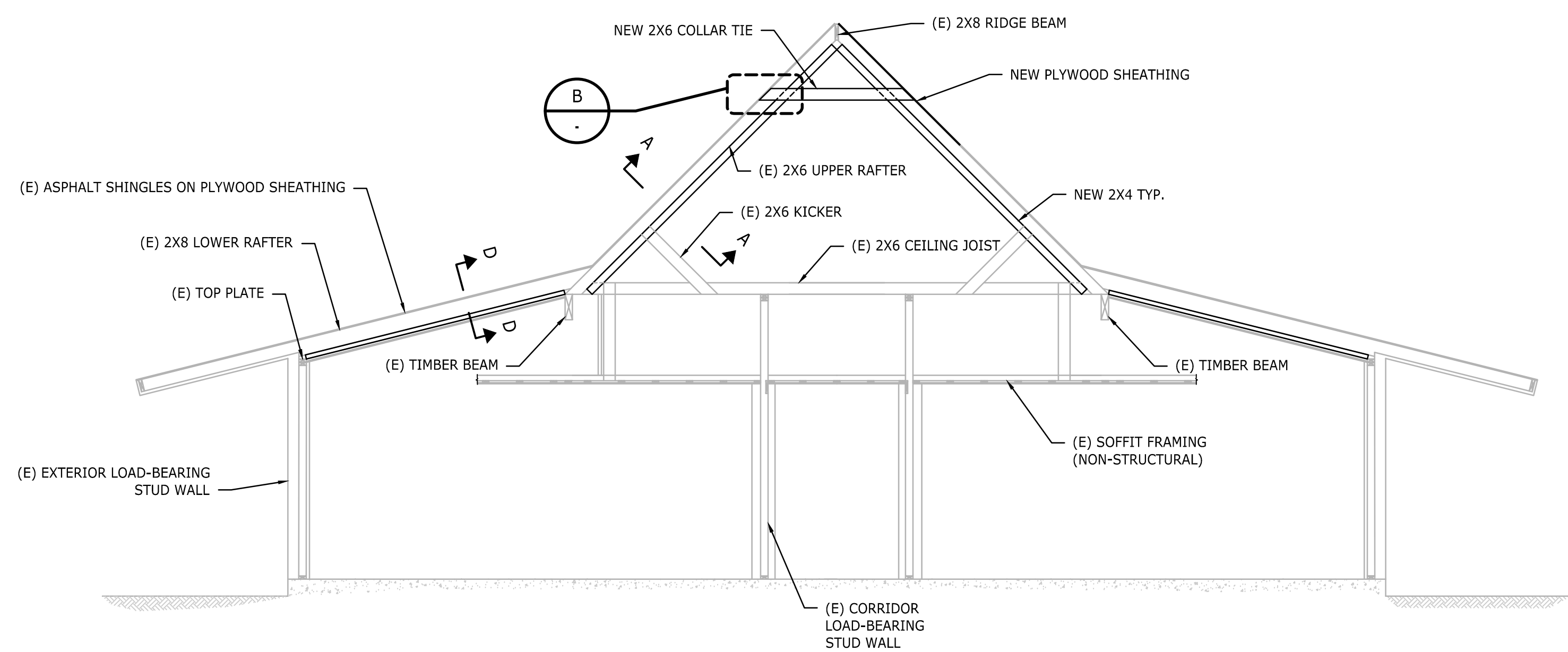
S2.0



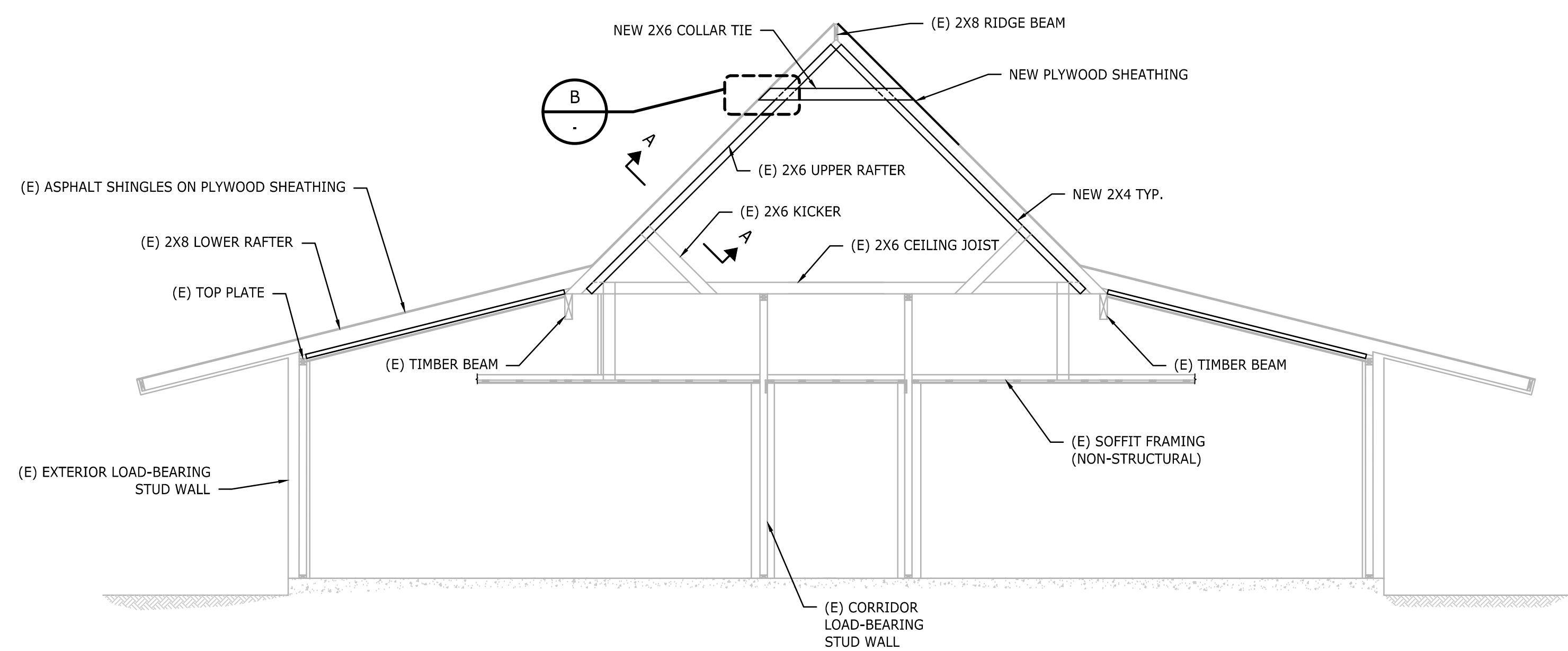
SECTION 1 BASE BID
SCALE: 1/4"=1'-0"



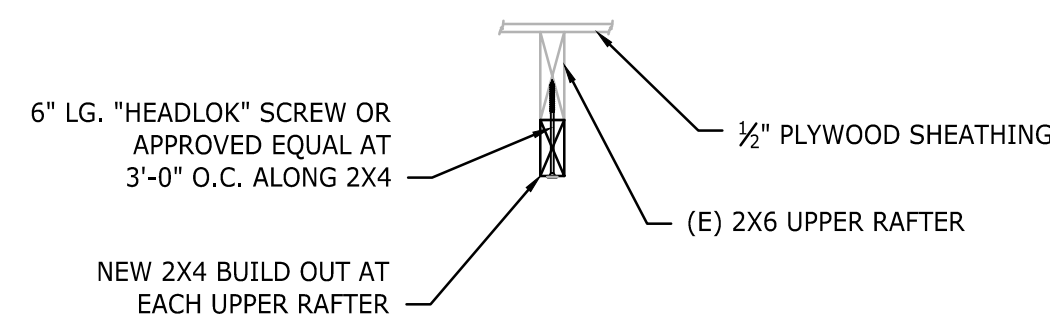
SECTION 1 ALTERNATE No. 1
SCALE: 1/4"=1'-0"



SECTION 2 BASE BID
SCALE: 1/4"=1'-0"

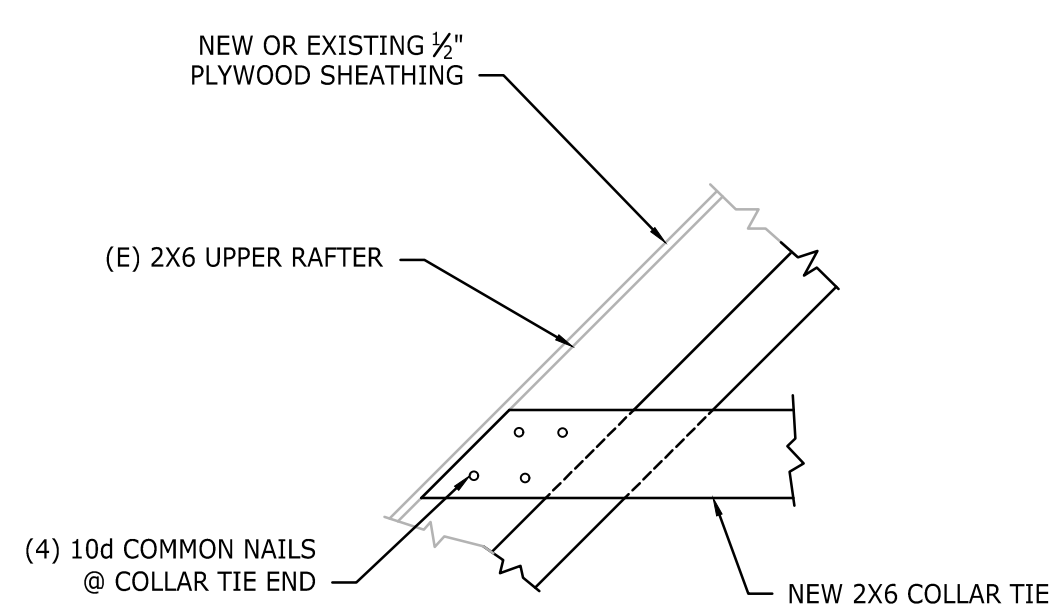


SECTION 2 ALTERNATE No. 1
SCALE: 1/4"=1'-0"



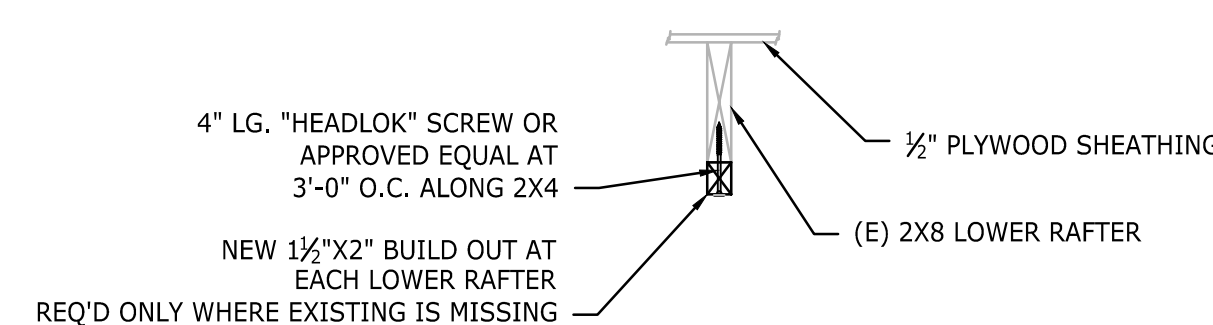
SECTION A-A

NOTE:
THIS DETAIL SHALL BE USED FOR ALL
NEW 2X4 BUILD OUT SHOWN ON ALL
DRAWINGS AND SECTIONS.



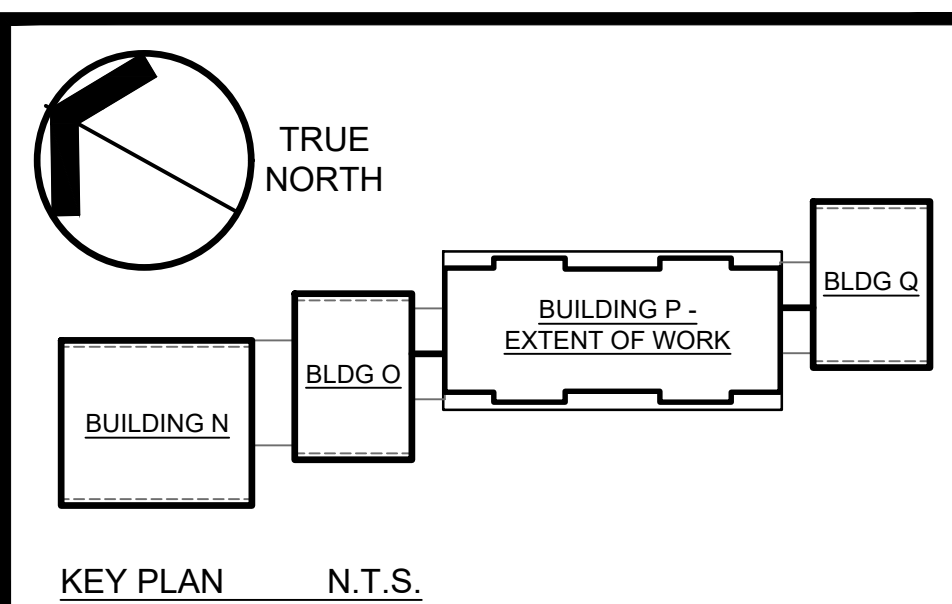
DETAIL B
SCALE: 1"=1'-0"

NOTE:
THIS DETAIL SHALL BE USED FOR ALL
NEW COLLAR TIES SHOWN ON ALL
DRAWINGS AND SECTIONS.



SECTION D-D

- NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
 2. PROVIDE NEW RIDGE STRAPS AT EACH EXISTING RAFTER WHERE SHEATHING IS REMOVED FROM EACH SIDE OF THE RIDGE.



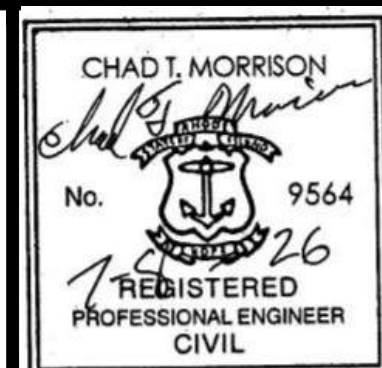
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3. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
4. NO EXITS SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
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rowse@rowsearchitects.com



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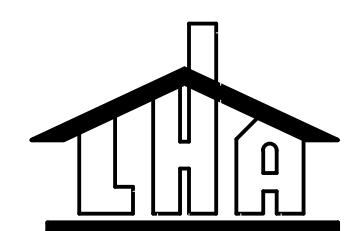
Date: JUNE 8, 2026

Drawn by: MSS Proj. Mgr.: KMC

Revisions

No.	Date	Description
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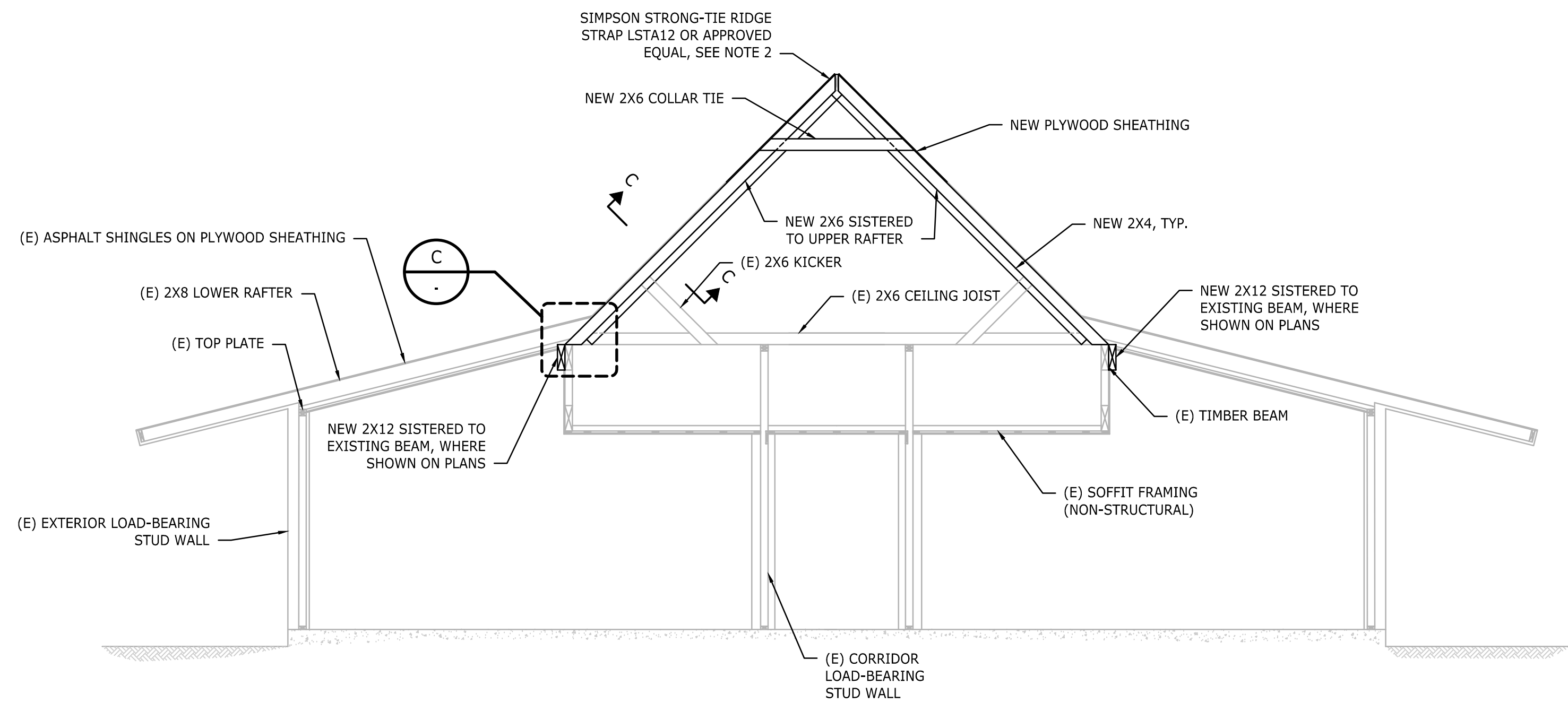
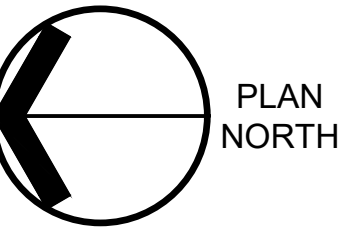
Lincoln Manor
Building P - Renovations



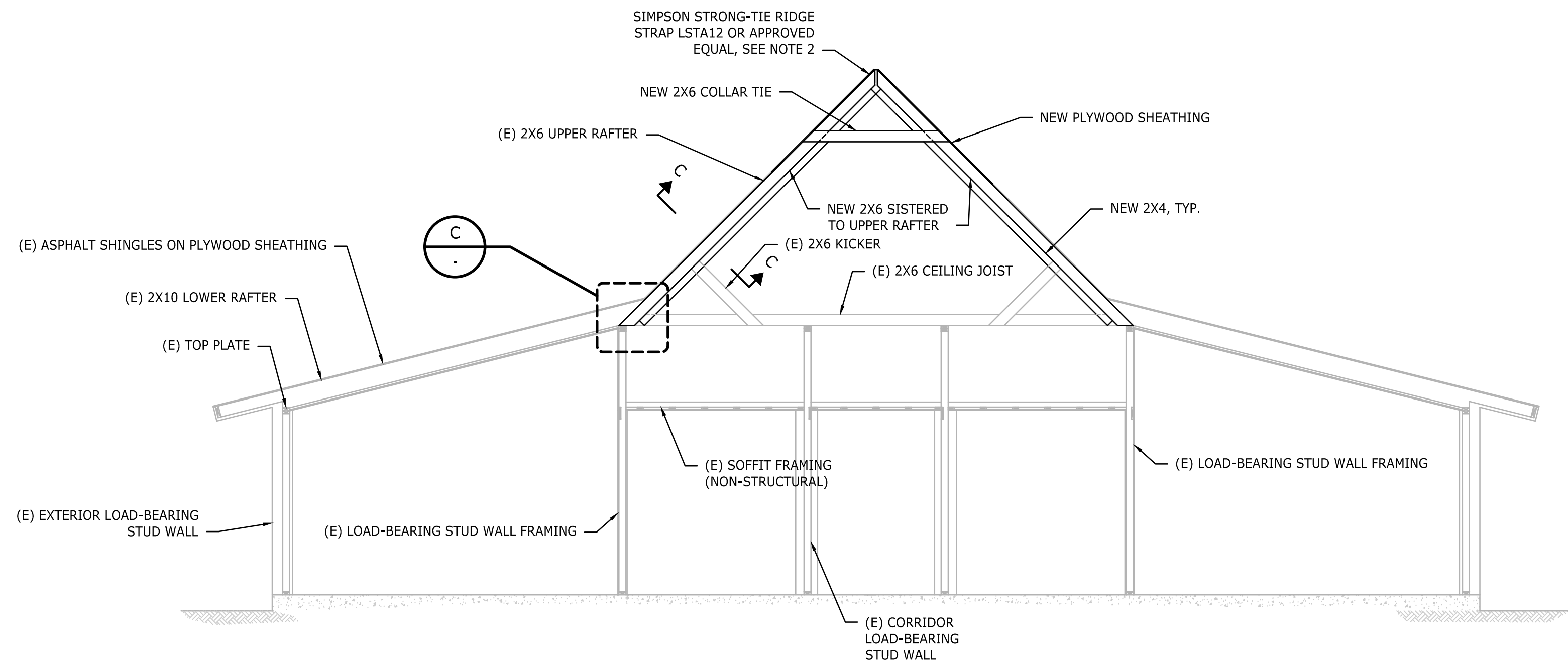
Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

STRUCTURAL
SECTIONS - 1

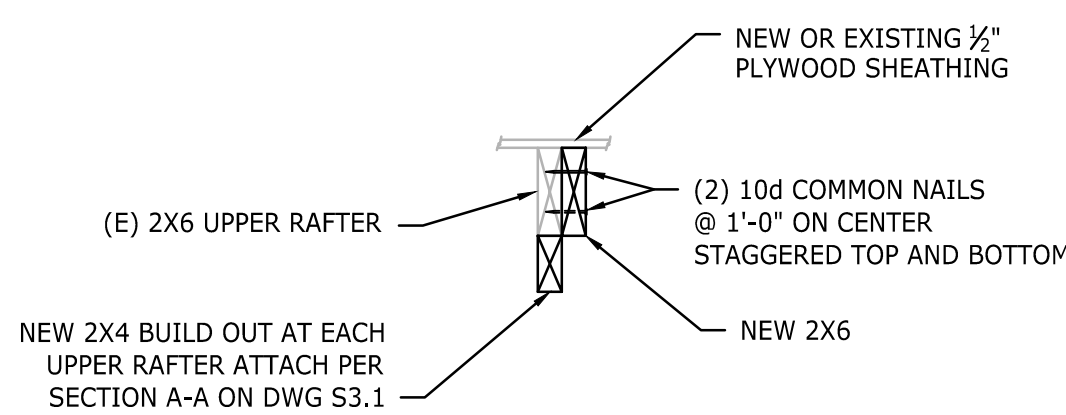
S3.1



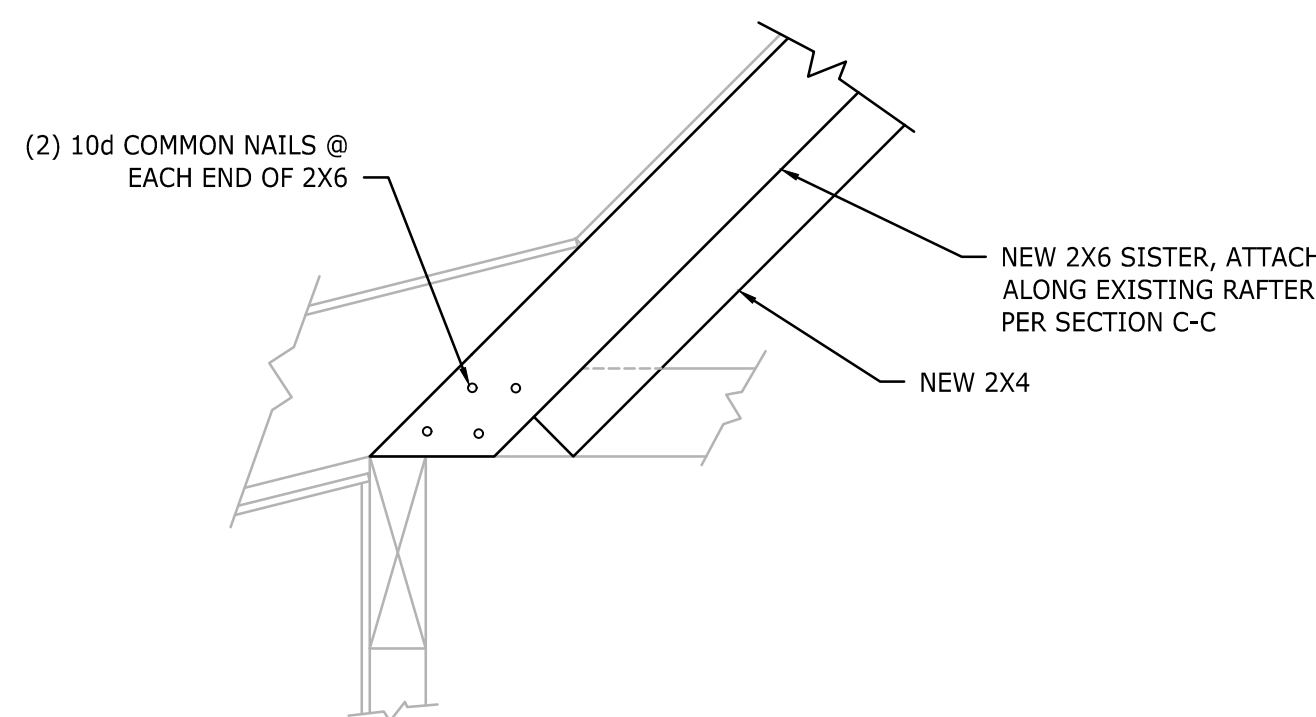
SECTION 3 BASE BID
SCALE: 1/4"=1'-0"



SECTION 4 BASE BID
SCALE: 1/4"=1'-0"

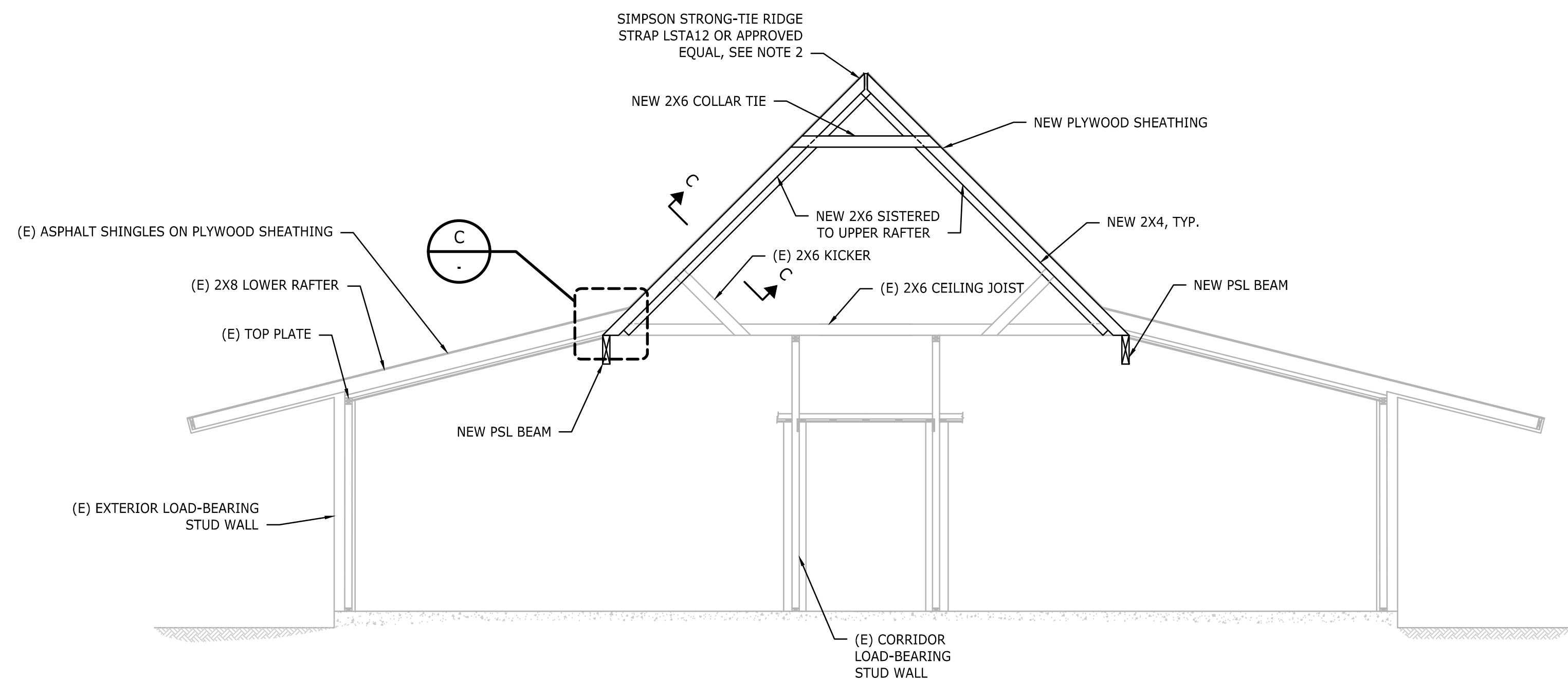


SECTION C-C

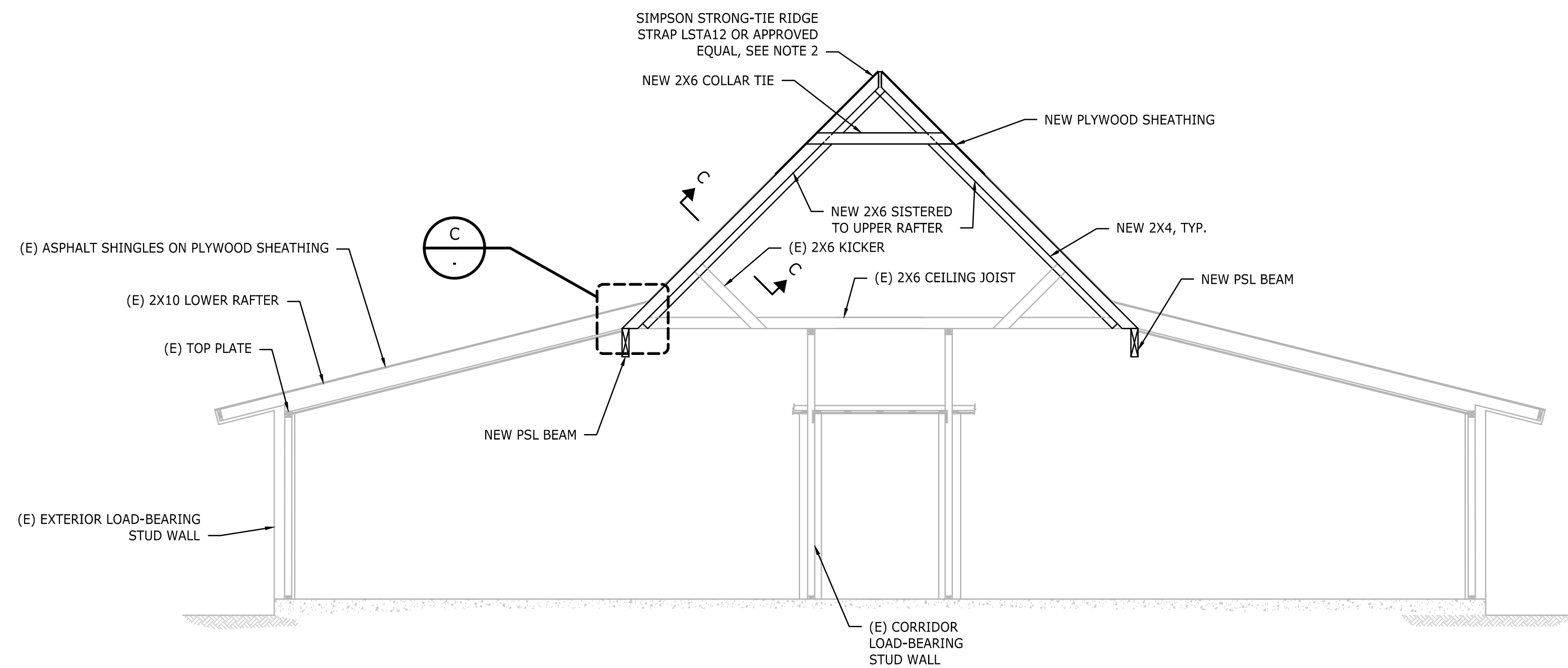


NOTE:
THIS DETAIL SHALL BE USED FOR ALL
NEW SISTERED 2X6 RAFTERS SHOWN
ON ALL DRAWINGS AND SECTIONS.

DETAIL C
SCALE: 1"=1'-0"

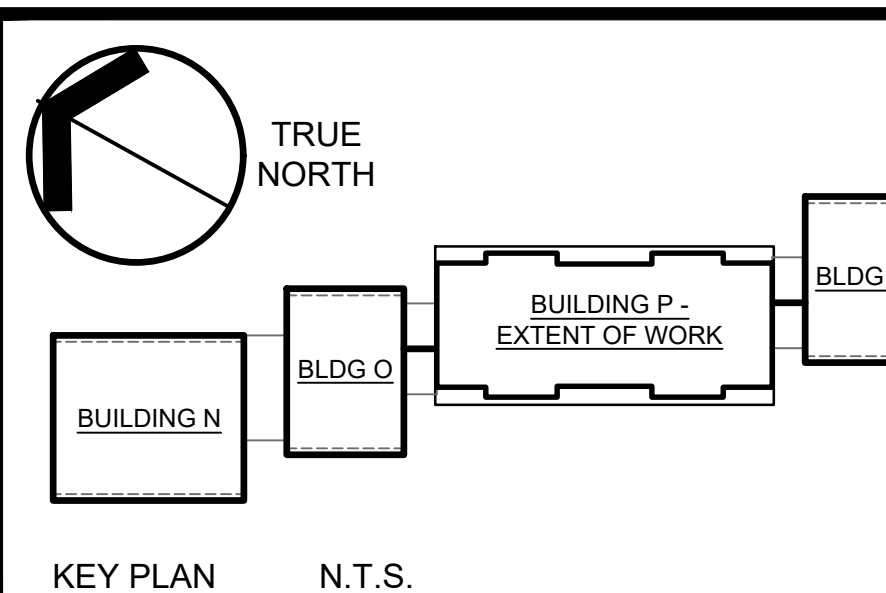


SECTION 3 ALTERNATE No. 1
SCALE: 1/4"=1'-0"



SECTION 4 ALTERNATE No. 1
SCALE: 1/4"=1'-0"

- NOTES:
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
 - PROVIDE NEW RIDGE STRAPS AT EACH EXISTING RAFTER WHERE SHEATHING IS REMOVED FROM EACH SIDE OF THE RIDGE.



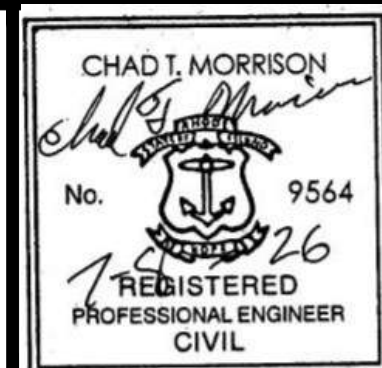
GENERAL NOTES

- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS AND DATA PROVIDED BY THE OWNER AND A/E FIELD SURVEY. NO WARRANTY OF ACTUAL CONDITIONS IS INTENDED BY ARCHITECT OR OWNER. CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS WITH NEW WORK PRIOR TO BID, START OF CONSTRUCTION OR ANY FABRICATION.
- CONTRACTOR SHALL VISIT SITE, PRIOR TO BID, AND CAREFULLY INVESTIGATE AND EXAMINE THE AREA OF WORK SO AS TO SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK. CONTRACTOR TO NOTE THE CHARACTER, QUALITY, QUANTITIES OF MATERIALS REQUIRED AND DIFFICULTIES TO BE ENCOUNTERED, THE KIND AND EXTENT OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK AND OTHER ITEMS WHICH MAY, IN ANY WAY, AFFECT THE WORK OR CONTRACTOR'S PERFORMANCE.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- NO EXITS SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- THE BUILDING WILL BE OCCUPIED DURING ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEVELOPED WITH THE UNDERSTANDING THAT THE BUILDING IS OCCUPIED AND THAT IT CAN NEITHER BE CLOSED NOR CAN THE OWNER'S OPERATIONS STOP.



400 Massachusetts Avenue,
Suite 300, Second Floor
East Providence, Rhode Island
p. (401) 331-9200

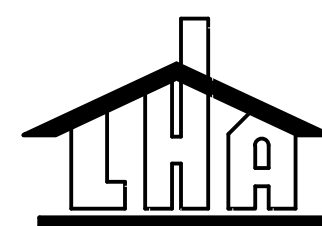
2 Hampshire Street,
Suite 106, First Floor
Foxboro, Massachusetts
p. (774) 234-0200
rowse@rowsearchitects.com



OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS AUTHORIZATION OF THE ARCHITECT.

Date: JUNE 8, 2026		
Drawn by: MSS		Proj. Mgr.: KMC
<u>Revisions</u>		
No.	Date	Description

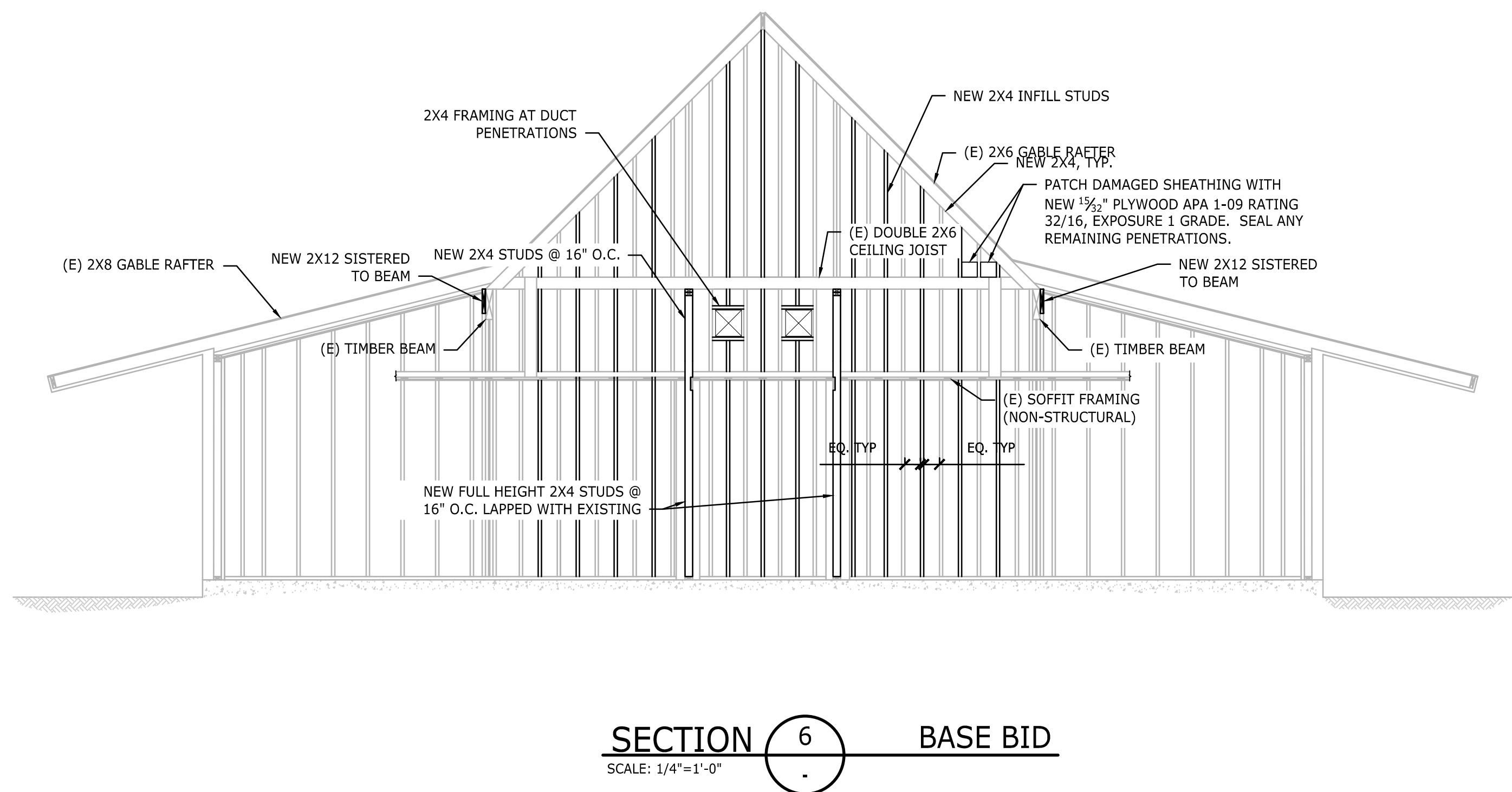
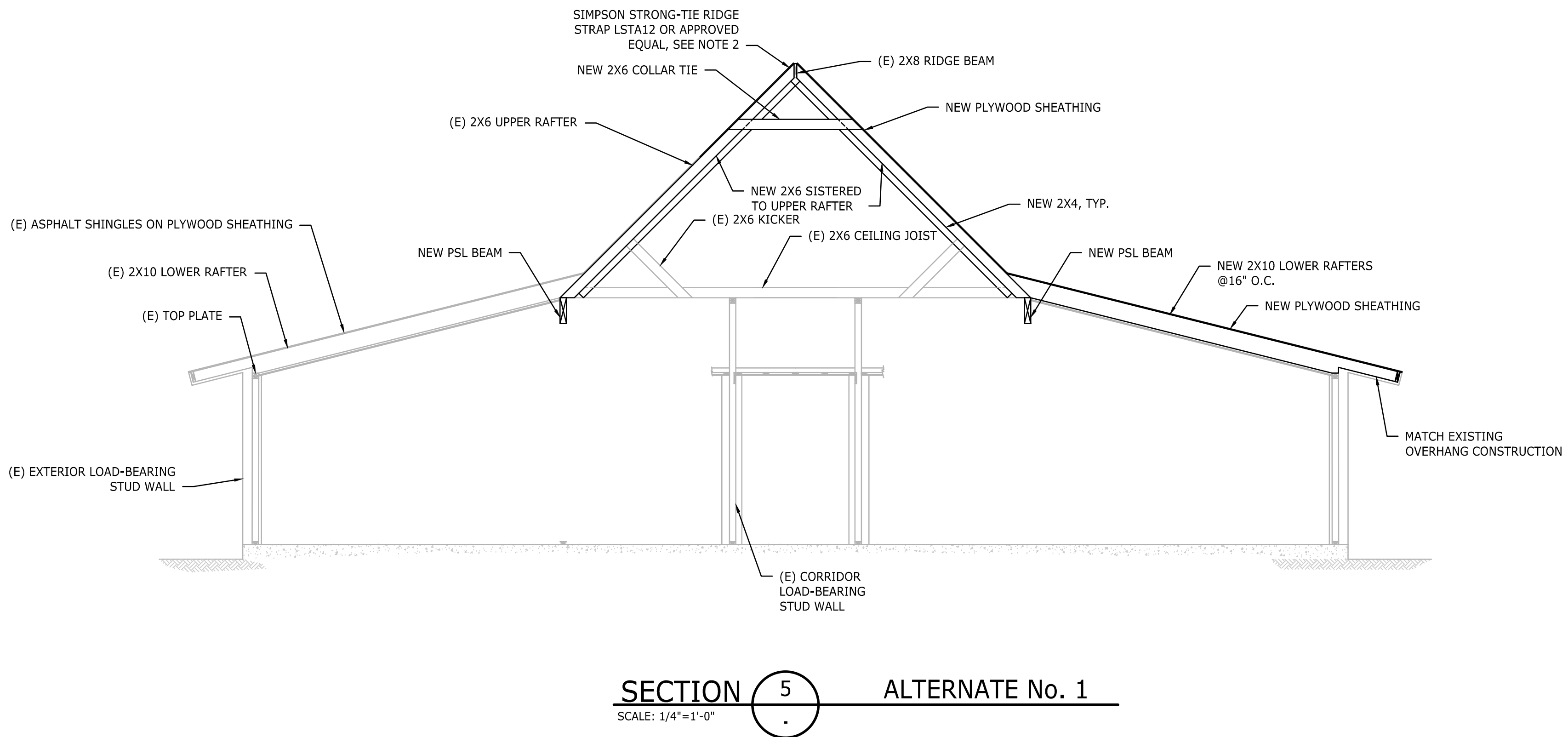
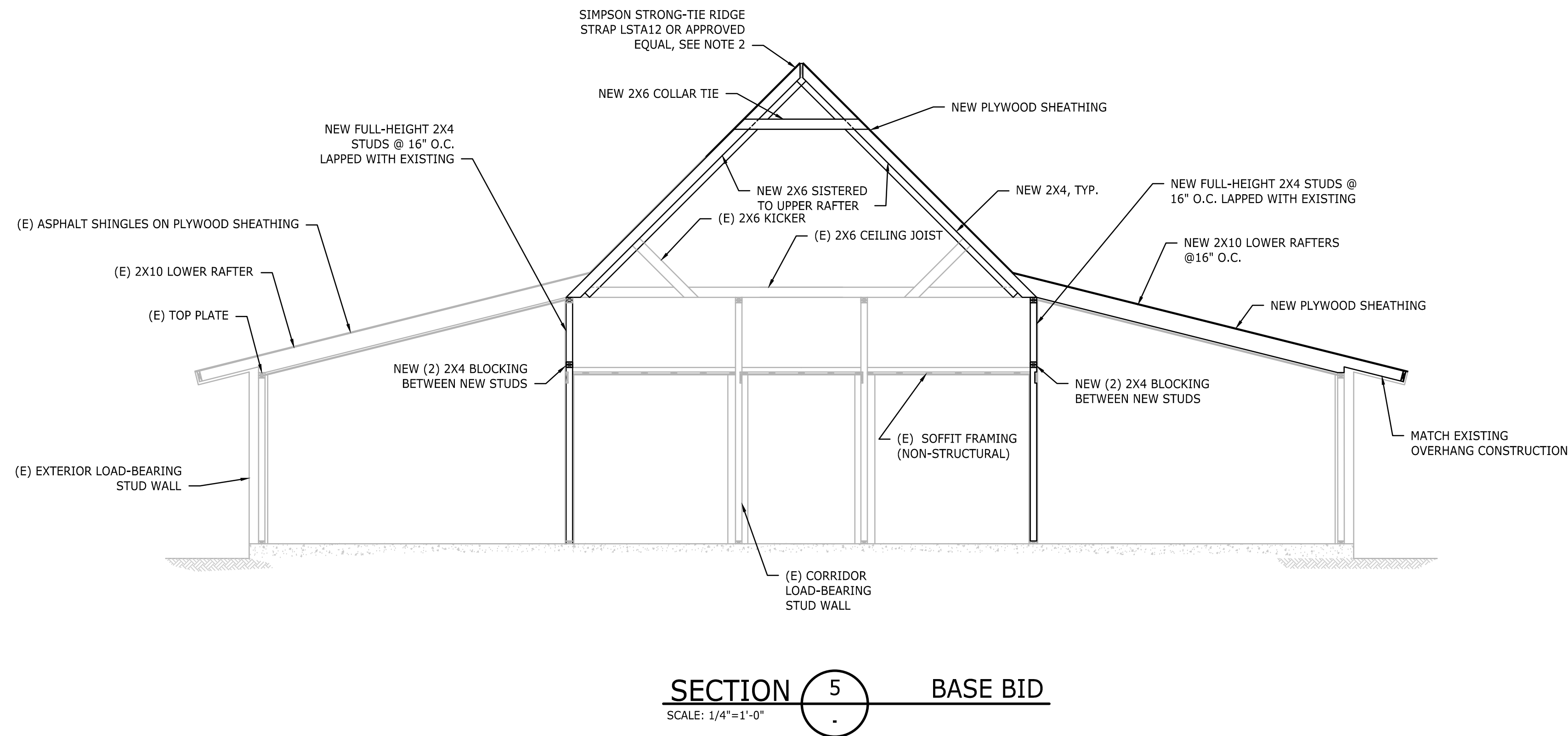
Lincoln Manor Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

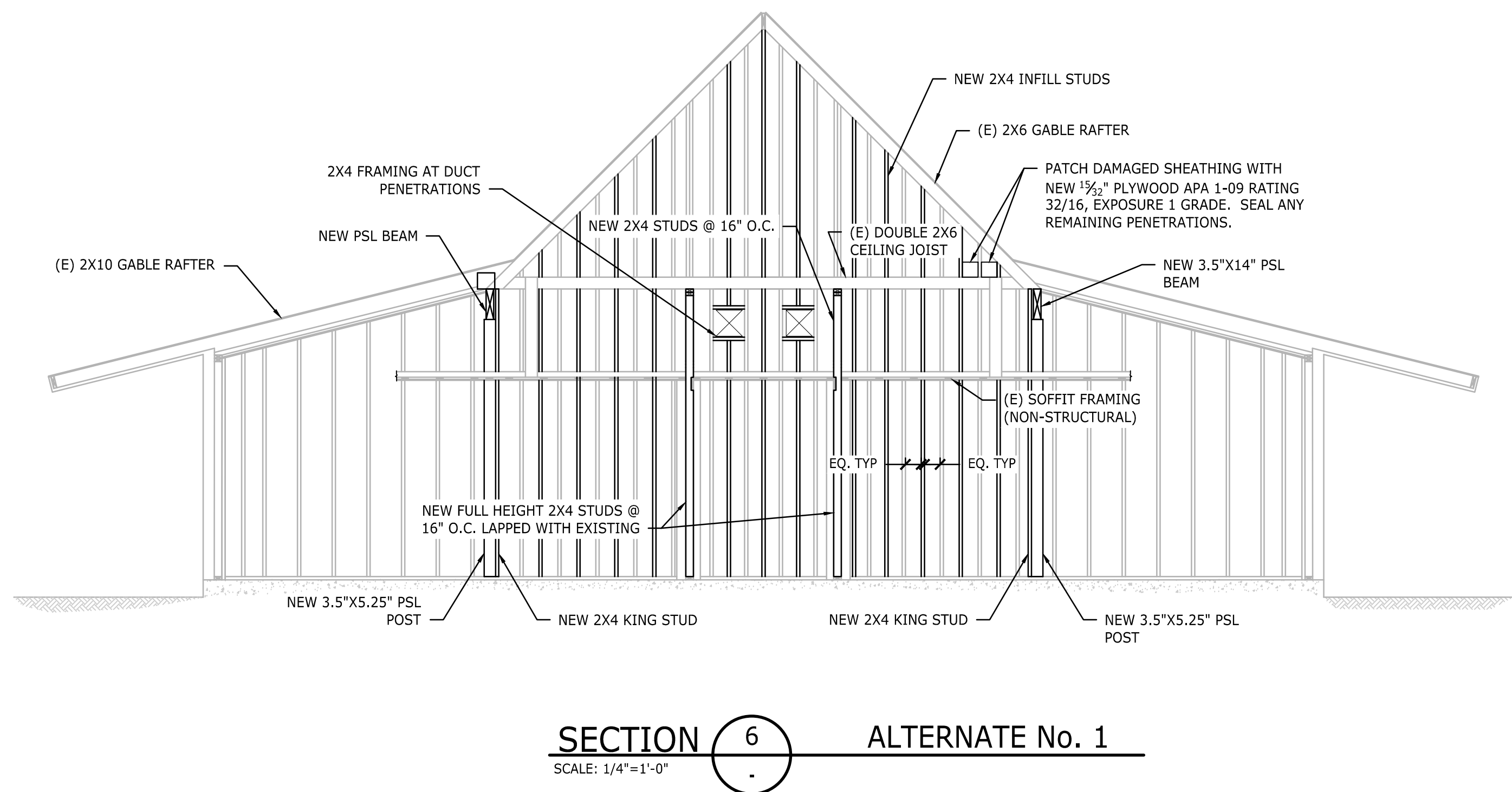
STRUCTURAL SECTIONS - 2

S3.2

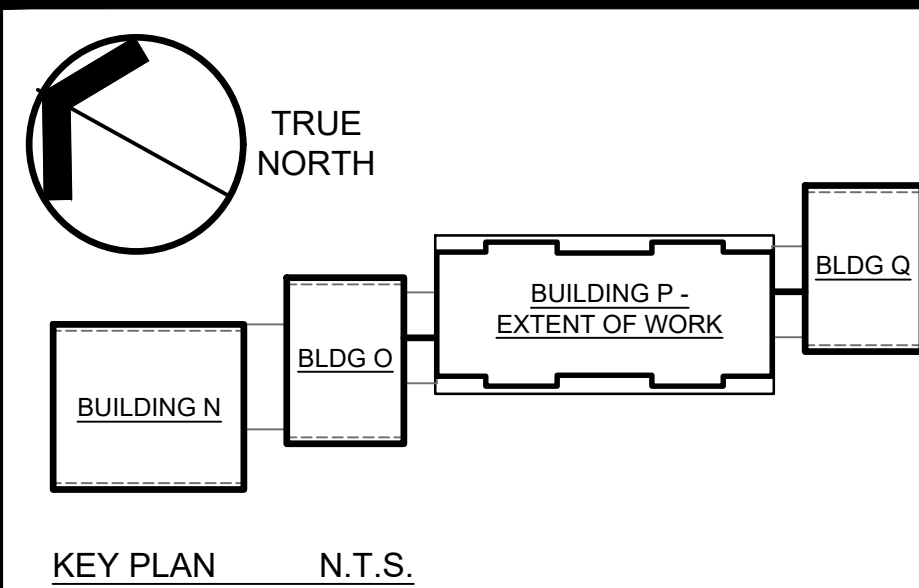


NOTE:
1. FASTEN NEW STUDS WITH #8 X 4" FLAT HEAD WOOD SCREWS @ 16" O.C. TYP THRU 2X4 INTO EXTERIOR SHEATHING.

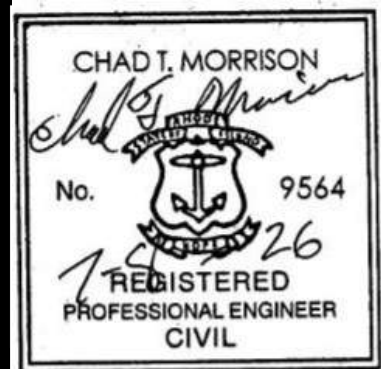
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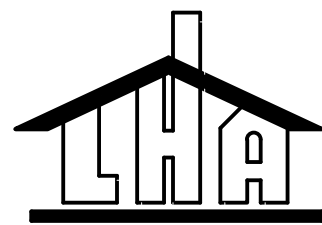
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Revisions		
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Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

STRUCTURAL
SECTIONS - 3

S3.3